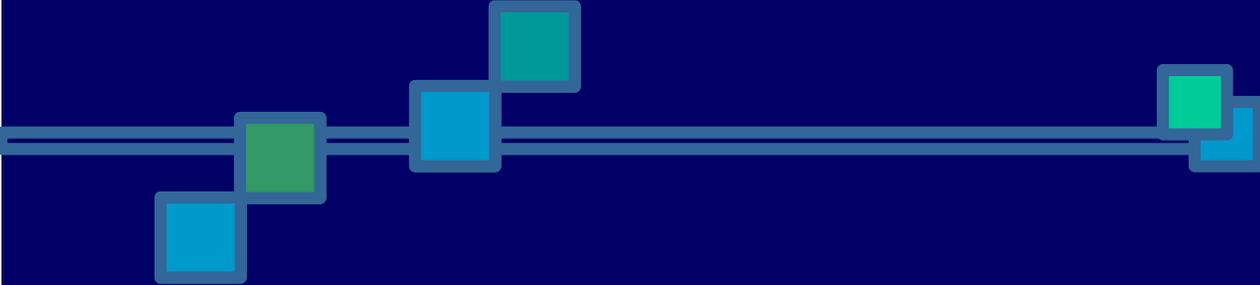
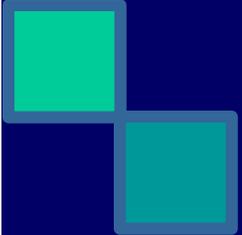


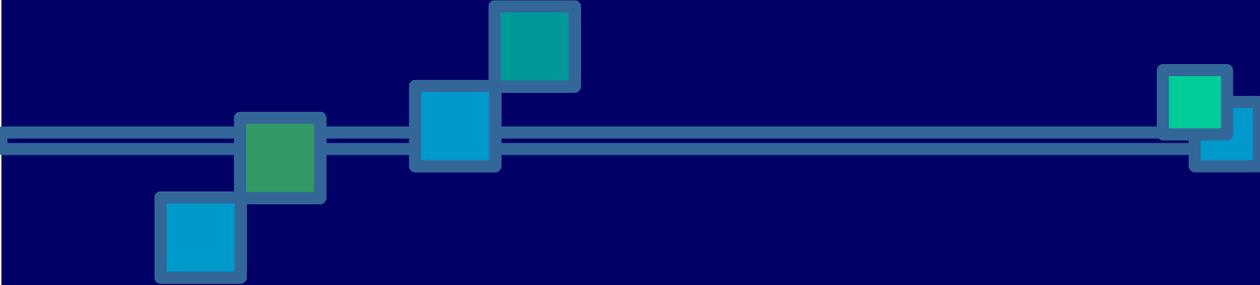
Public Works and Parks Facility



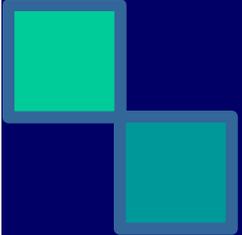


Vision Statement

- 
- Establish our long term space needs to facilitate the comprehensive services provided by the Department of Public Works and the Parks Department
- 



How Did We Get Here?

- 
- Current facility was constructed in 1963 (40 years ago)
 - Normal, maximum expected life is 50 years
 - Equipment and service needs have changed significantly since 1963
 - Bray Report identifies building deficiencies
- 



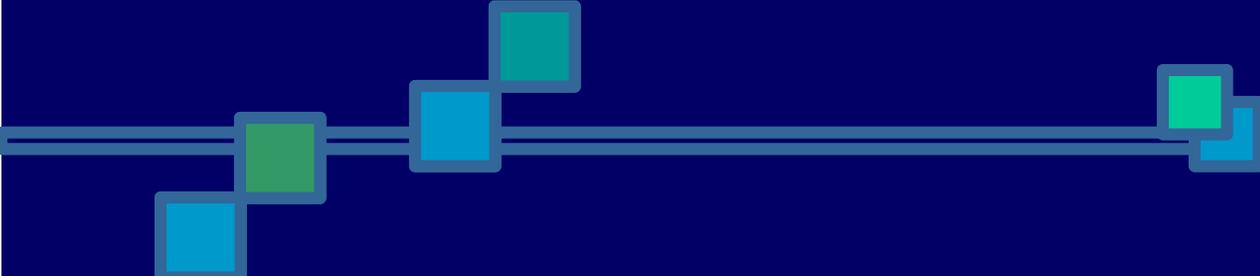


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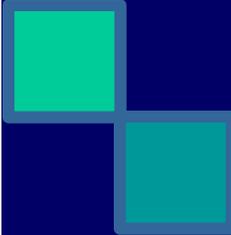
Kennedy-Hahn
TV & APPLIANCE
APPLETON • NEW BERLIN • WAUNAKEE

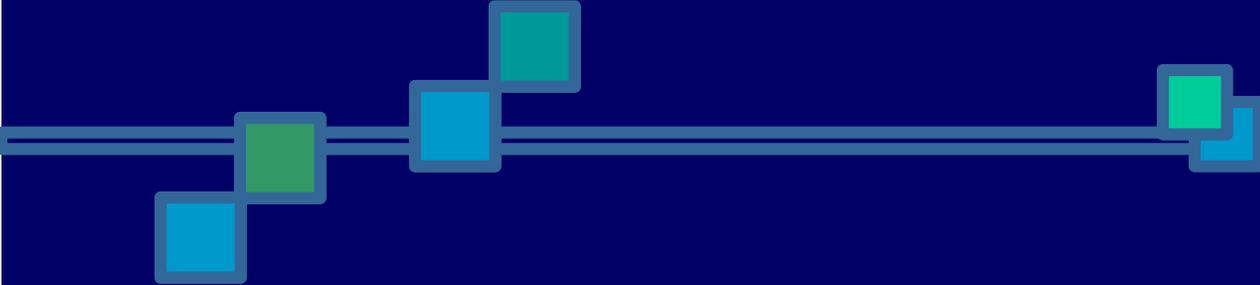




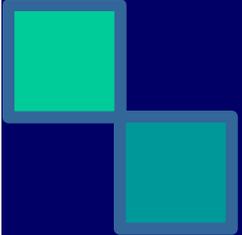


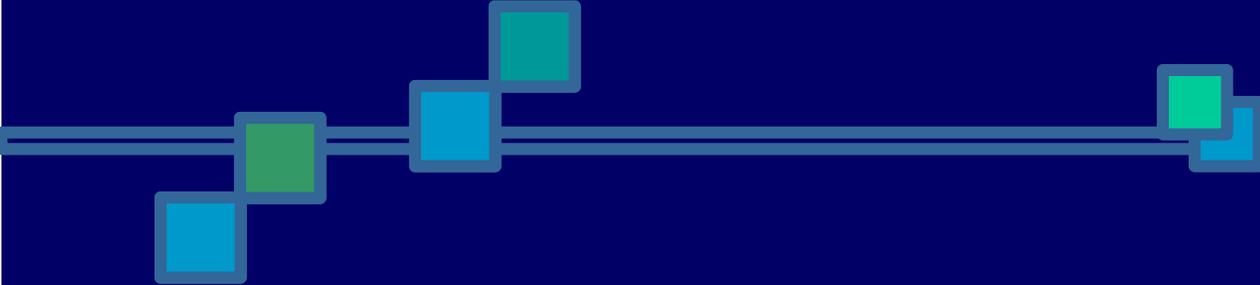
Today s Situation

- 
- Current space needs are aging and inadequate for the equipment in both departments
 - Built-in inefficiencies exist with the current facility
 - Future needs and services cannot be met with the current facility
 - City growth of approximately 30% will require additional City services
- 

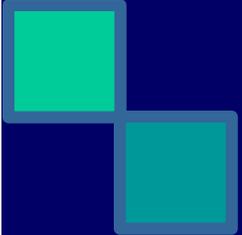


Goal and Objective

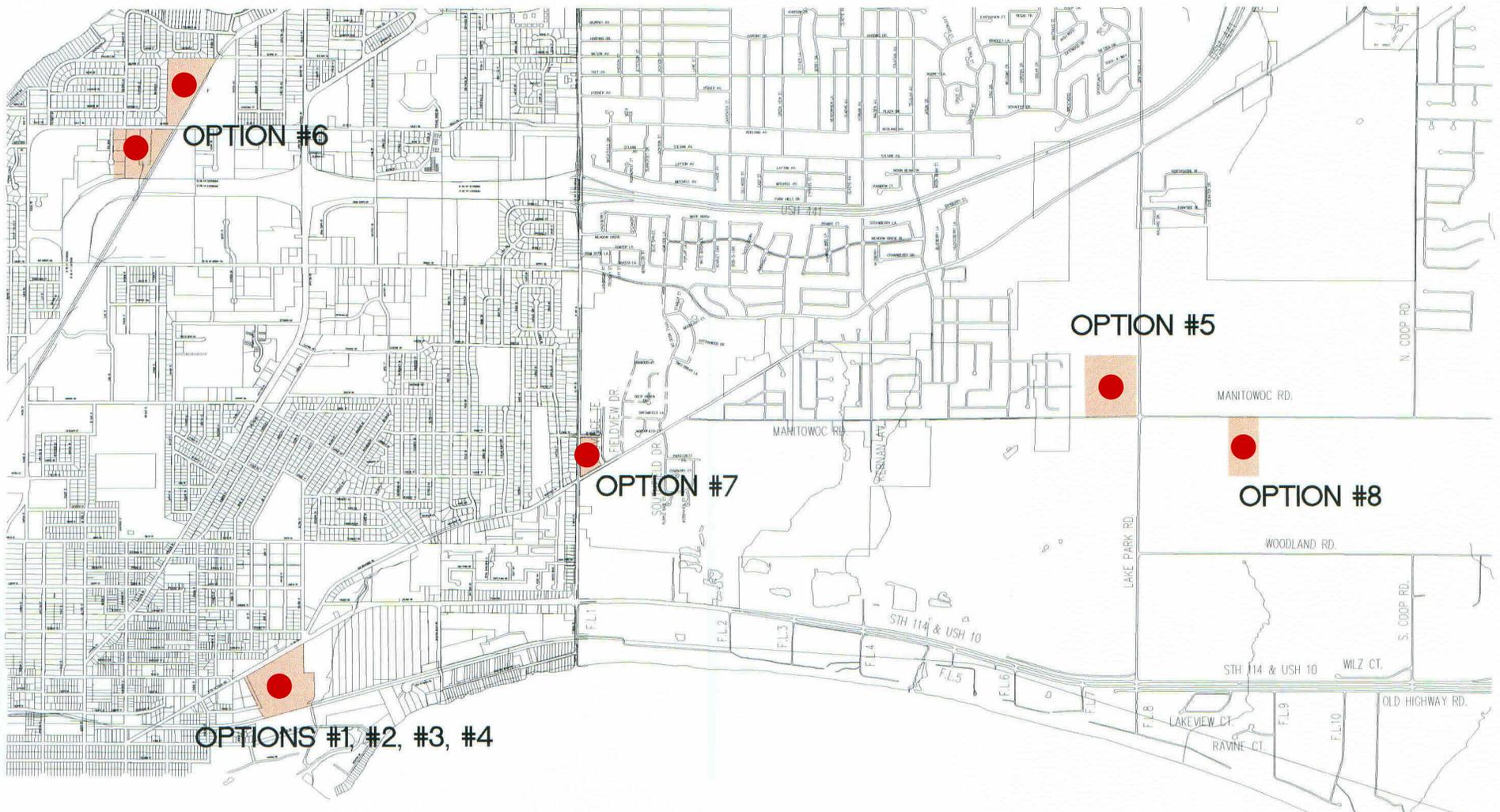
- 
- Assess the current facility (Bray Assoc. Facilities Report)
 - Determine the most cost-effective facility
 - Determine the ideal site needs for the long term (recommend 20 acres)
 - Ideal size public works facility should be approximately 80,000 gsf



Available Options

- 
- We have eight different siting options for the council to consider. Depending upon our discussion, we hope that you select one or two for staff to pursue and bring back for more detail.
- 

Siting Options



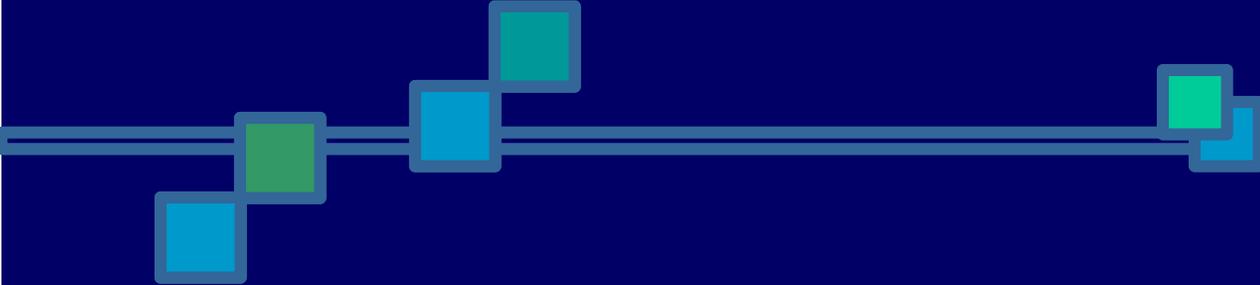


Option #1

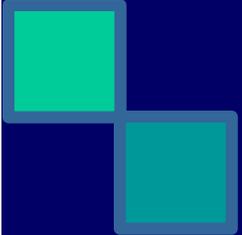


- Expand and upgrade the existing structure and property

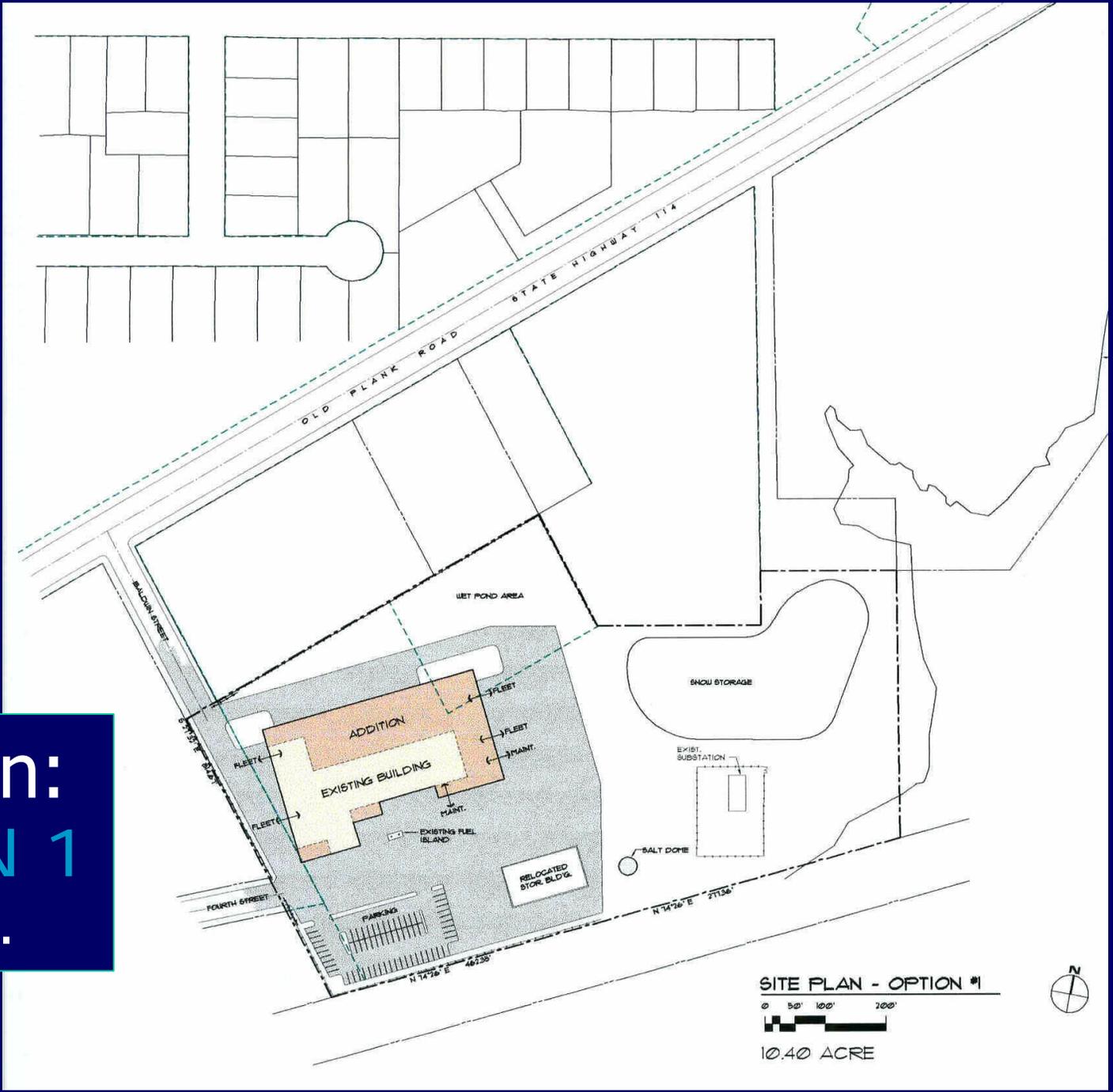
- Requires the purchase of Rappert property at \$45,000 (approximately 1.4 acres)
 - Would be limited to 10 acres
 - Phased construction process
 - Future expansion needs could not be accommodated
 - Due to building expansion, we would need to eliminate yard waste collection and/or snow storage or find a 3 acre off-site facility
 - Would allow for the Reserve Town House Development (approximate \$12 million assessed value)
- 



Option #1

- 
- Architect/Engineer suggest that it is not cost-effective to utilize 40 year old structure for the new facility
 - Code Compliance issues
 - Existing structure will require upgrades associated with new loads (i.e. snow drifting, cranes and mechanical equipment approx. \$400,000)
 - Additional foundation costs for soil conditions (approx. \$370,000)
- 

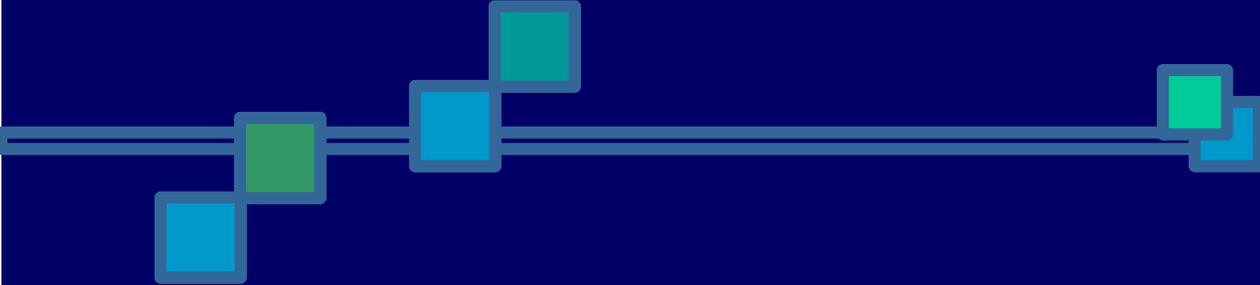
Site Plan:
OPTION 1
10.40 Ac.



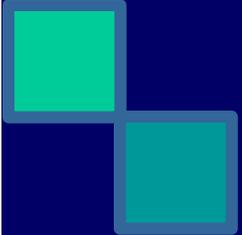
SITE PLAN - OPTION #1



10.40 ACRE



Option #2

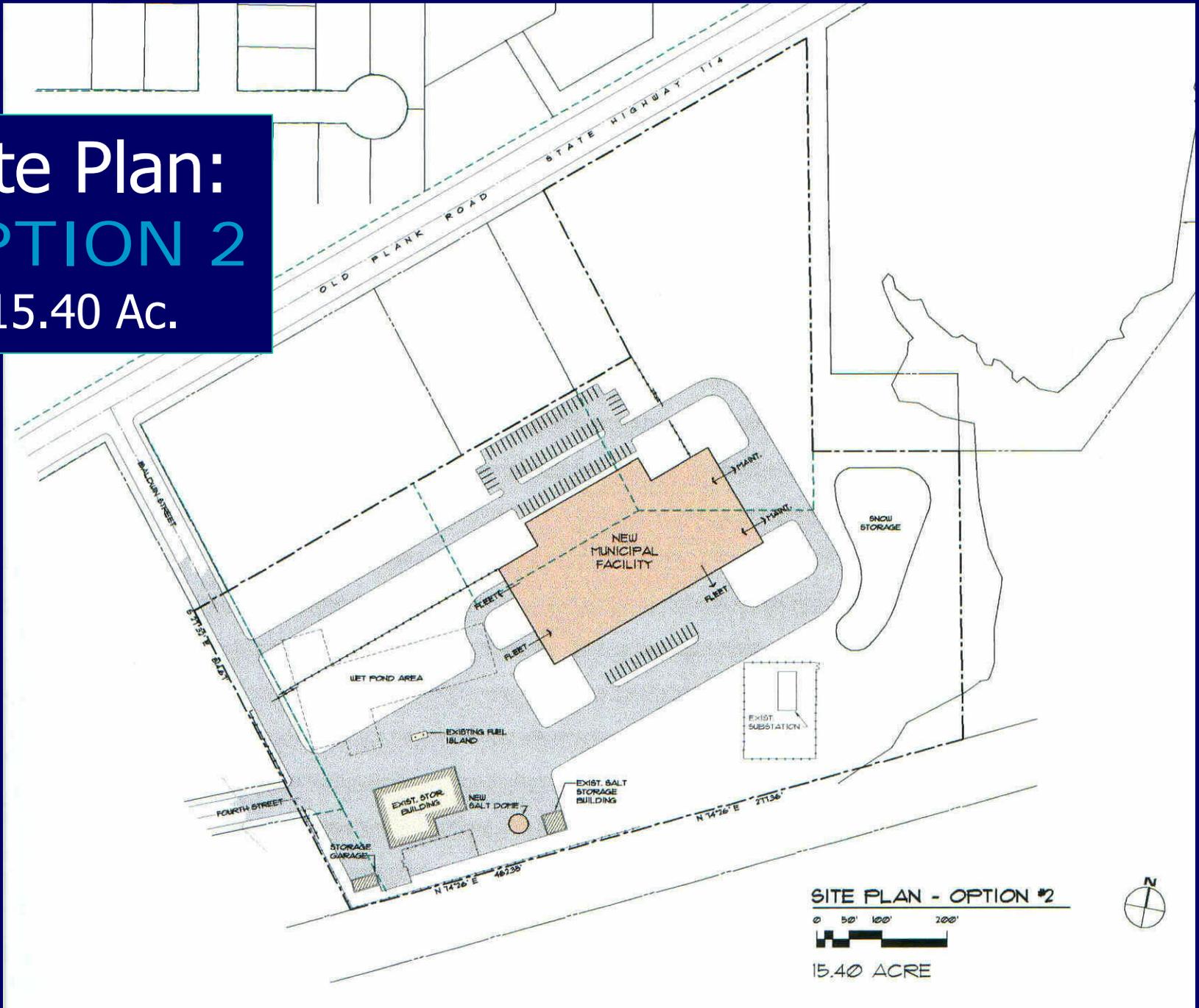
- 
- Construct a new public works facility on the existing municipal garage site
 - Require \$45,000 Rappert property
 - Blue Jay Property Value at \$110,000
 - Will require DNR exemption
 - 15 acre site (including Blue Jay property)
- 

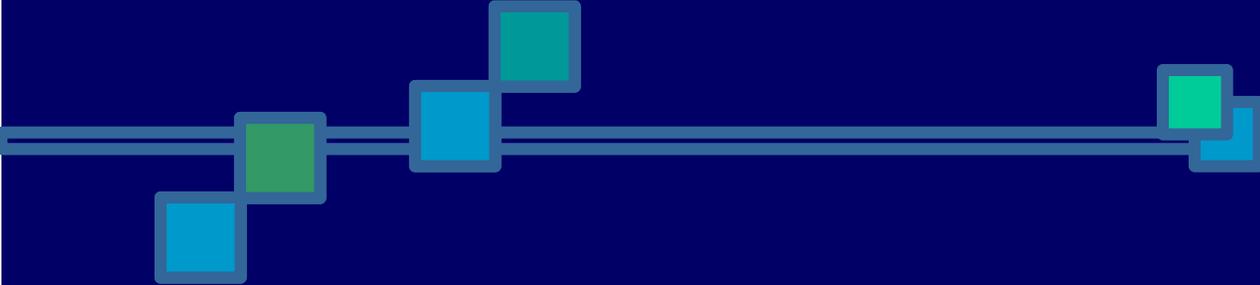


Option #2

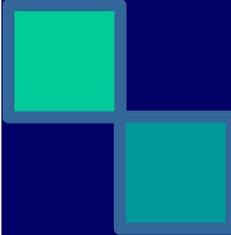
- Soil Conditions require an added \$560,000 for subgrade preparation, \$40,000 for methane venting and \$75,000 for dewatering during construction
- Probable loss of \$12 million Reserve Town House Project -- approx. \$384,000 per year in property taxes (Reimburse developers \$50,000 if the entire project is eliminated)
- Site layout would require snow storage and compost to be located on Blue Jay property, new facility would remain hidden behind neighboring buildings

Site Plan: OPTION 2 15.40 Ac.

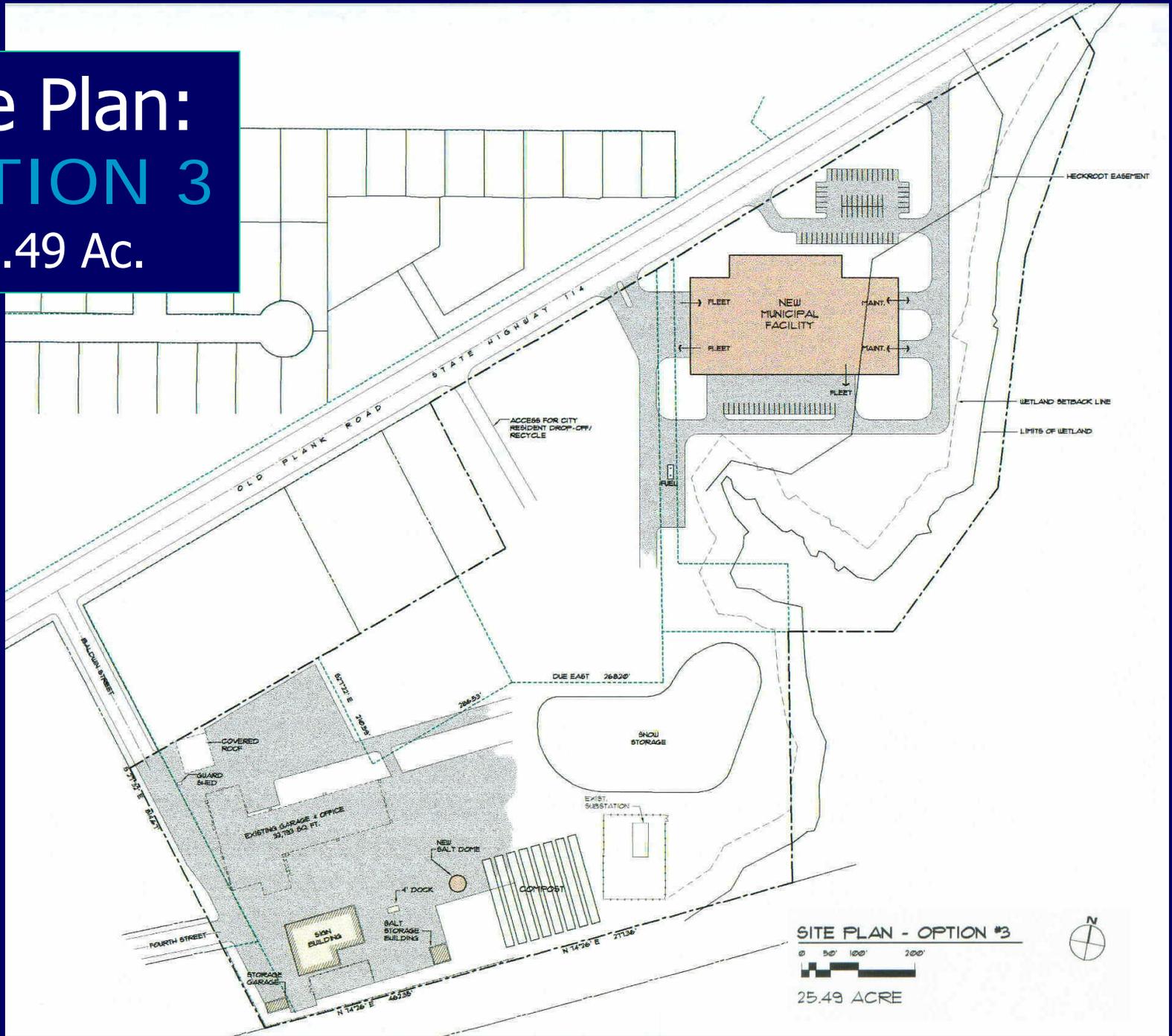




Option #3

- 
- Completely use the Blue Jay site and Lopas site for DPW/Parks purposes
 - Loss of \$12 million in assessed value which represents \$384,000 per year in taxes
 - Soil conditions require \$675,000 as indicated in Option #2
 - May require core samples of bedrock due to heavy loadings for garage vs. residential loadings
 - Limited property available for efficient future expansion
- 

Site Plan: OPTION 3 25.49 Ac.



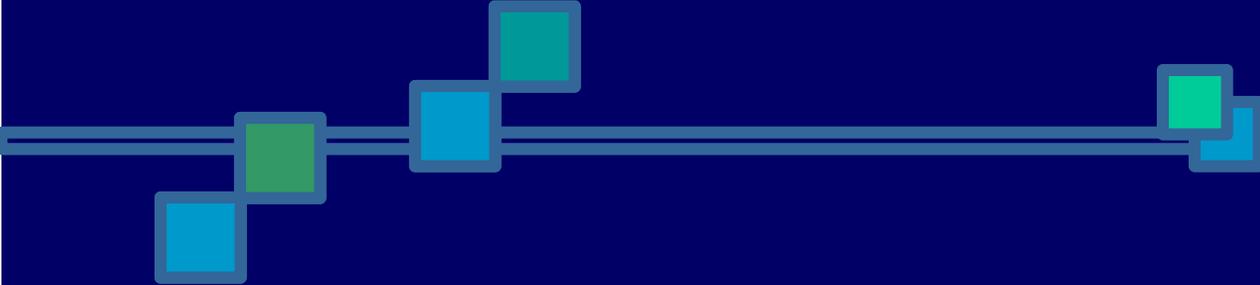


Option #4

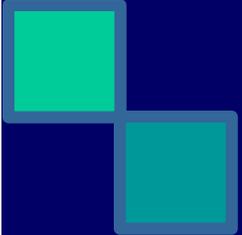
- Acquire properties along 114

- Acquisition costs:

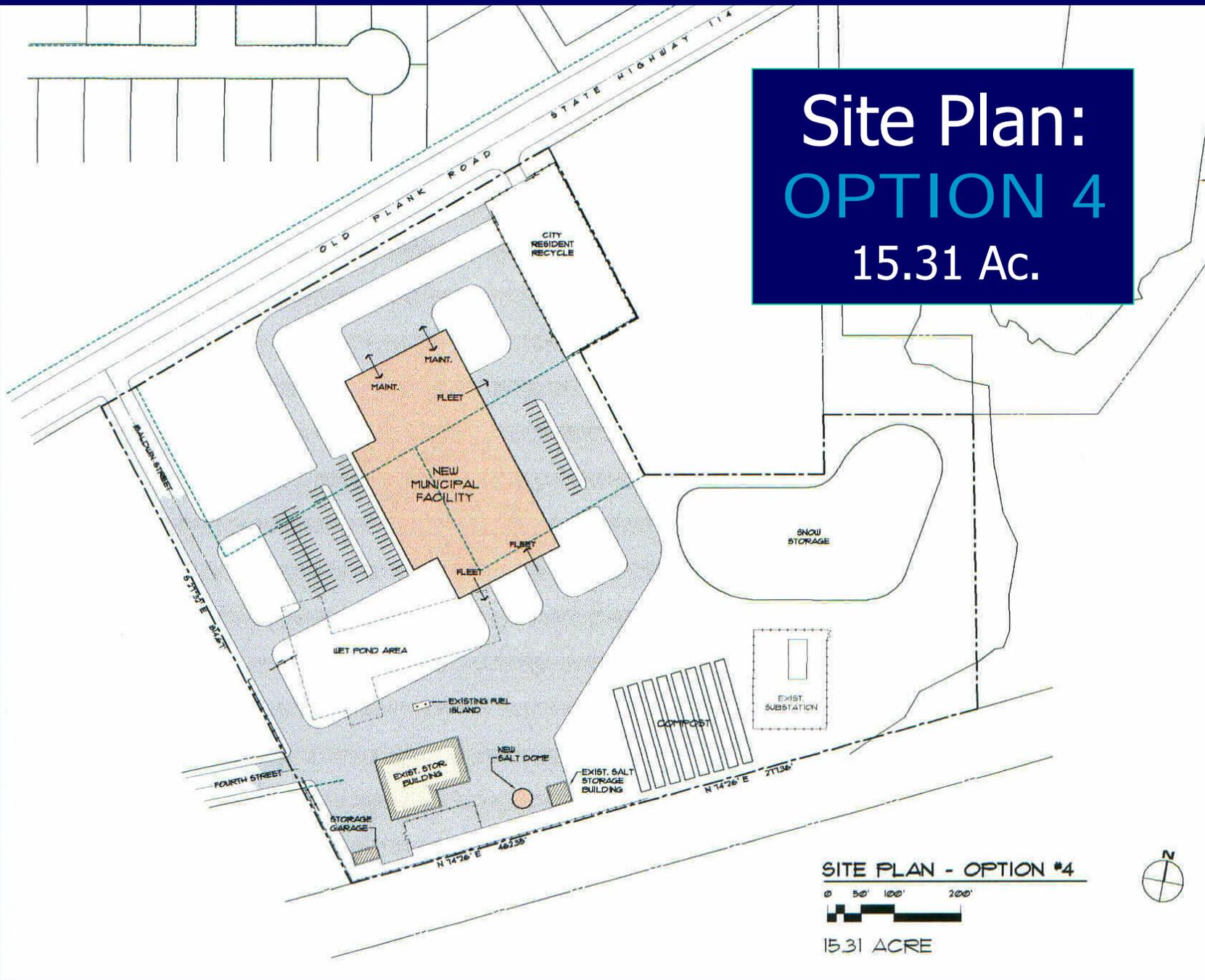
- Whimpy s wants \$850,000 + demolition cost (one known hot soil condition that can t be disturbed)
- Rappert Property: \$45,000
- Mini warehousing is \$500,000 + relocation + demolition cost
- Redliner wants new bar + relocation on 114 -- cost estimated at \$400,000 + demolition
- 6 acres total added space to provide 15 acres for the Public Works facility
- Total acquisition cost of more than \$1,795,000



Option #4

- 
- Same soil conditions as indicated in Options 1, 2 & 3 -- add \$675,000
 - Loss of tax base of \$721,000 -- \$23,000 per year
 - Greater opportunities for future expansion
- 

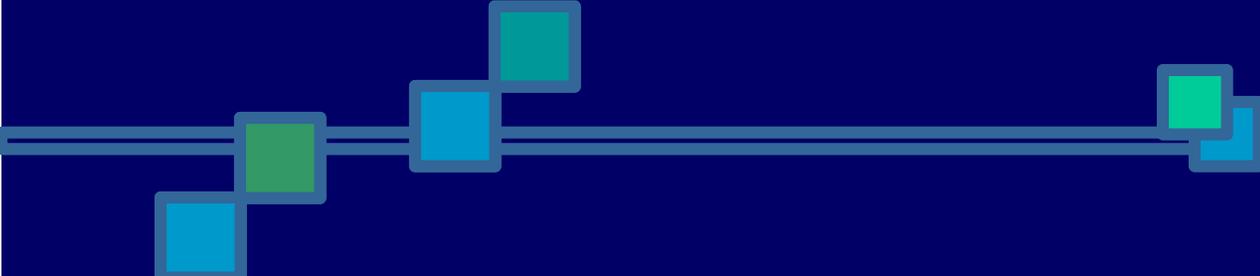
Site Plan: OPTION 4 15.31 Ac.



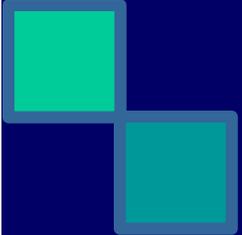
SITE PLAN - OPTION #4

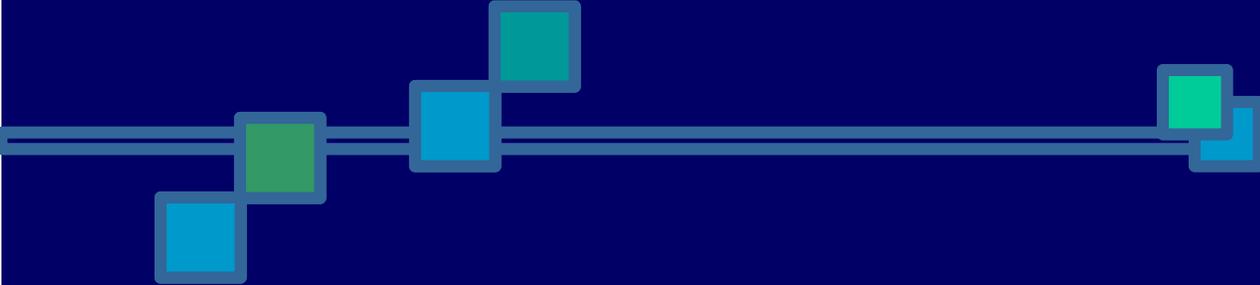


15.31 ACRE

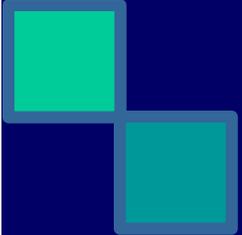


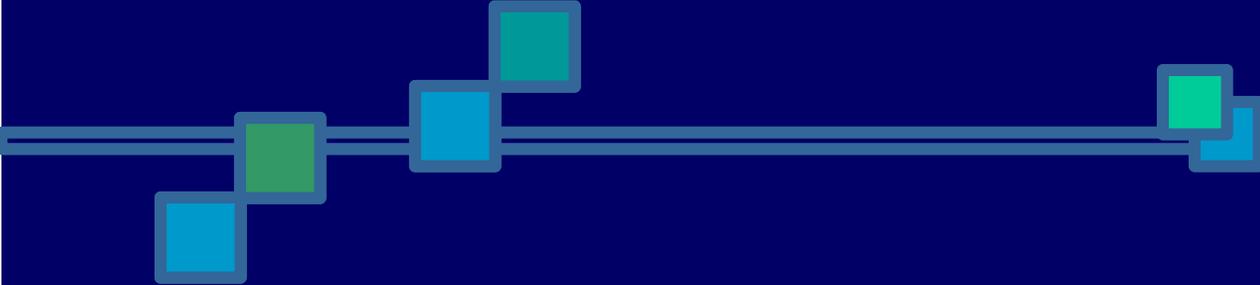
Option #5

- 
- Purchase 38 acres at Lake Park and Manitowoc Road for \$35,000 per acre (\$1,330,000)
 - Land is outside the city limits -- no loss in tax base
 - Vacant site, can build without concern for environmental hazards or unsuitable soil conditions
 - Can site future fire station on abandoned existing garage parcel
 - Snow storage would remain on existing site
- 

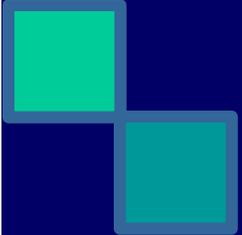


Option #5

- 
- Option to create a vision corner at Lake Park and Manitowoc (purchase house) - \$130,000
 - Appleton is interested in working with the City of Menasha on a joint recycling and yard waste program. Also, would like to explore a joint dog park. The City of Appleton is also interested in potential joint storm water management issues.
 - Potential expansion of Reserve Town House on 4-6 acres of existing DPW site (approx. \$128,000/year additional tax revenue)
- 

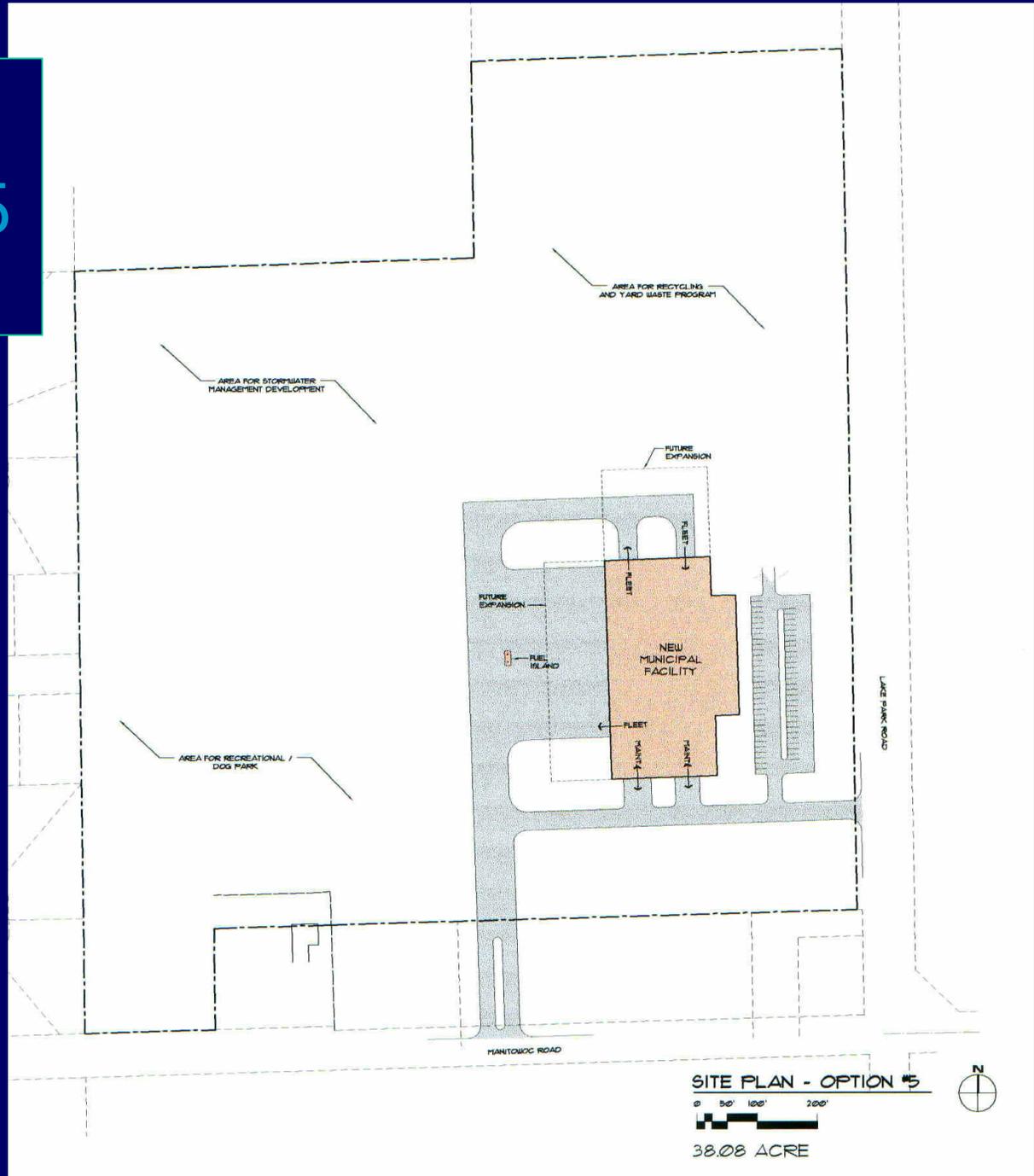


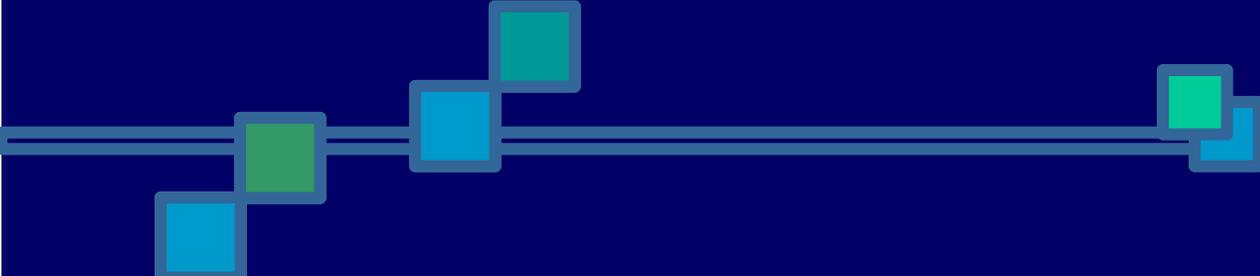
Option #5

- 
- Greater flexibility in design of the public works facility and enhanced capability for long term growth
 - 38 acre parcel allows 20 acres to meet our long term needs
 - Positioned for a regional facility someday
 - Increase operation costs estimated at \$34,000 per year -- declining as we continue to grow
- 

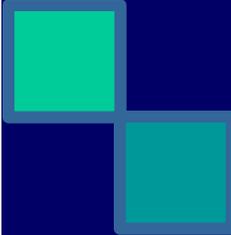
Site Plan: OPTION 5

38.08 Ac.





Option #6

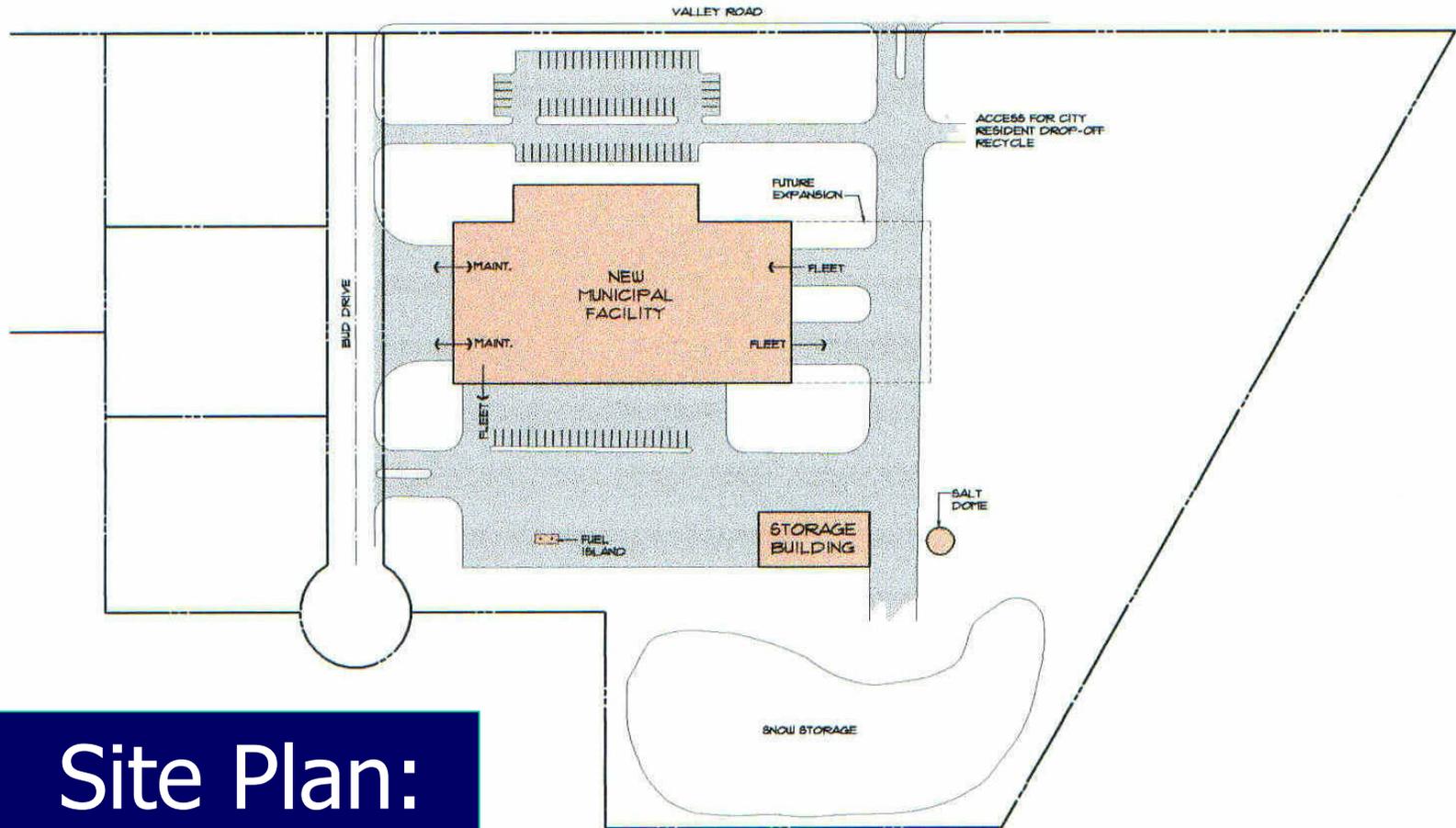


■ Valley Road - South

- Assemble approx. 15-16 acres
 - Acquisition costs approx. \$1,883,500 plus demolition and environmental clean-up costs
 - Loss of \$38,400/year in tax revenue
- 

■ Valley Road - North

- Concrete pipe site (approx. 14 acres)
- \$850,000 plus demolition and environmental clean-up costs (if required)



Site Plan:
OPTION 6
SOUTH
 16.80 Ac.

SITE PLAN - OPTION #6 SOUTH



16.80 ACRE



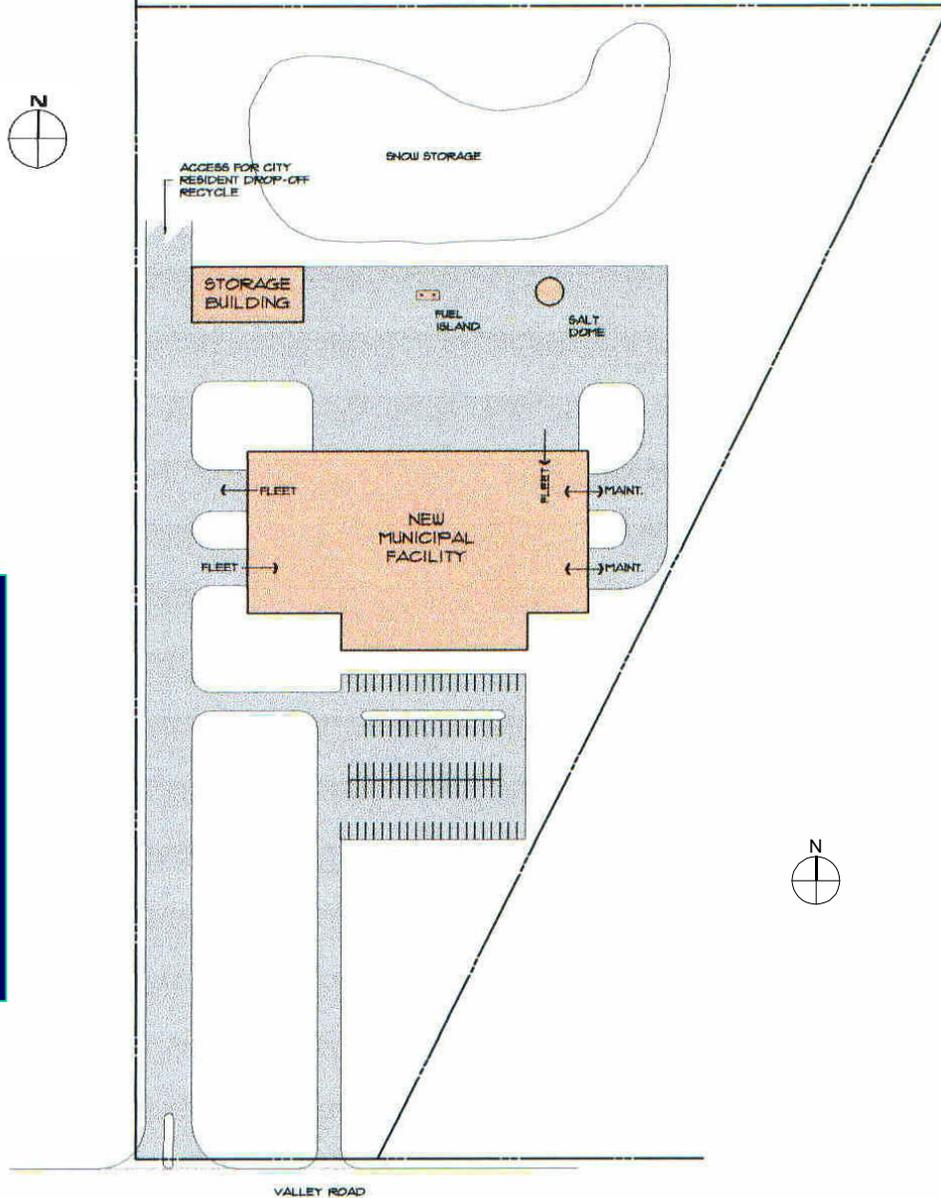
SITE PLAN - OPTION #6 NORTH

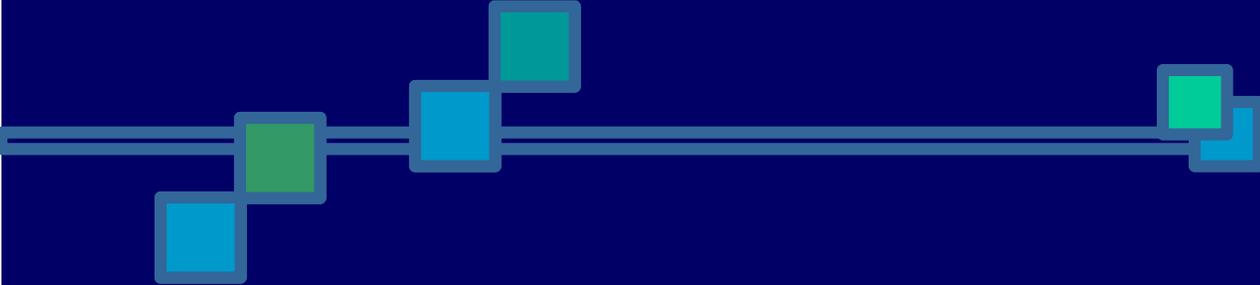


16.65 ACRE



Site Plan:
OPTION 6
NORTH
16.65 Ac.

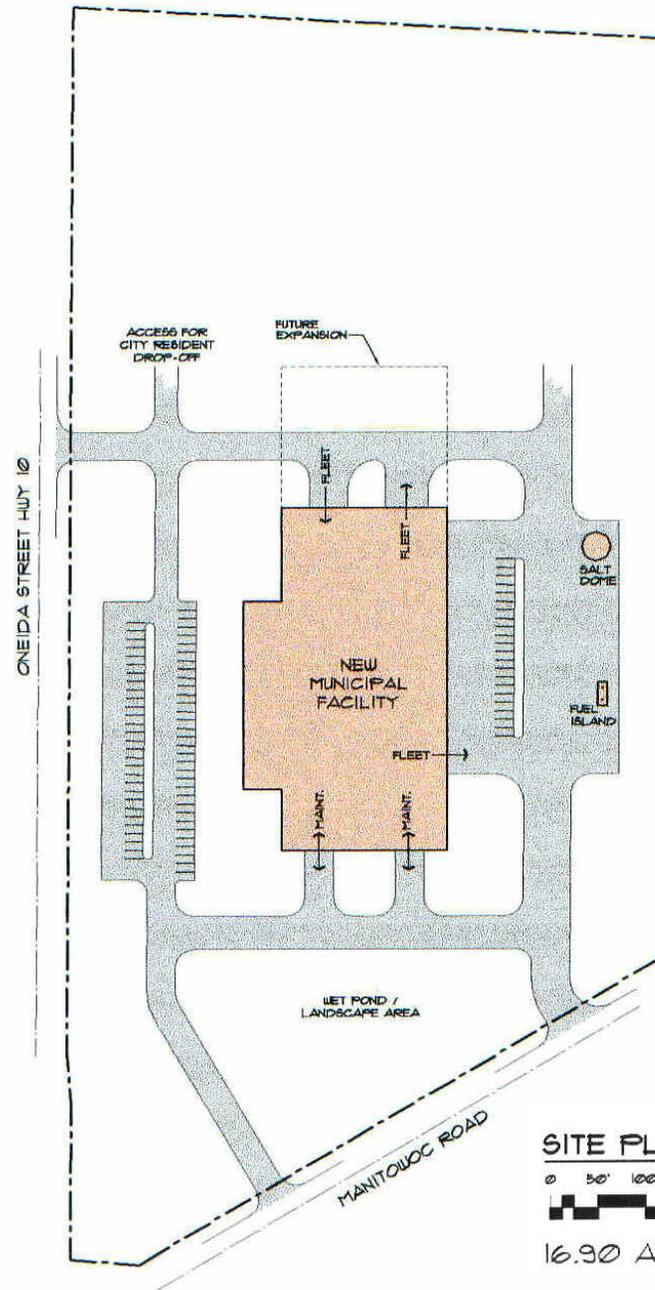




Option #7

- Acquire property at Manitowoc and Oneida
 - Cost estimated at \$50,000 per acre (16 acres) -- \$800,000
 - Prime developable land for commercial purposes -- \$1 million per acre X 16 acres = \$16 million in lost tax base = \$470,000 on an annual basis (Menasha School District)
- 

Site Plan: OPTION 7 16.90 Ac.

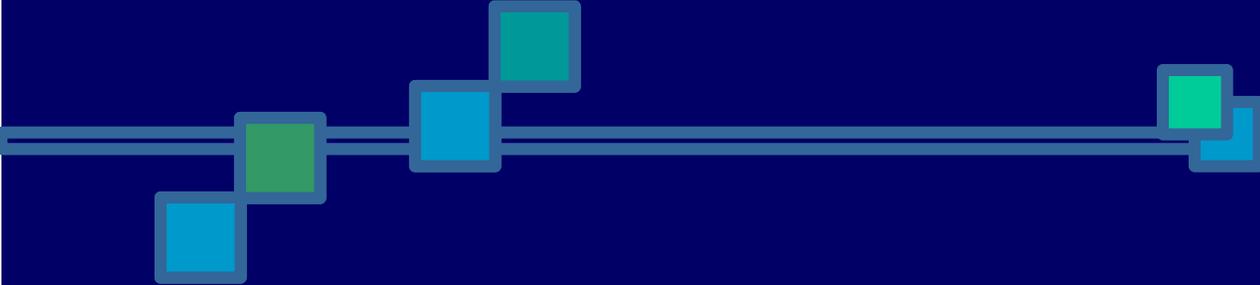


SITE PLAN - OPTION #7

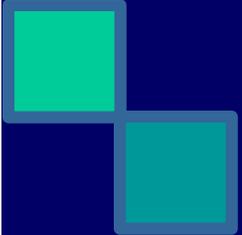


16.90 ACRE

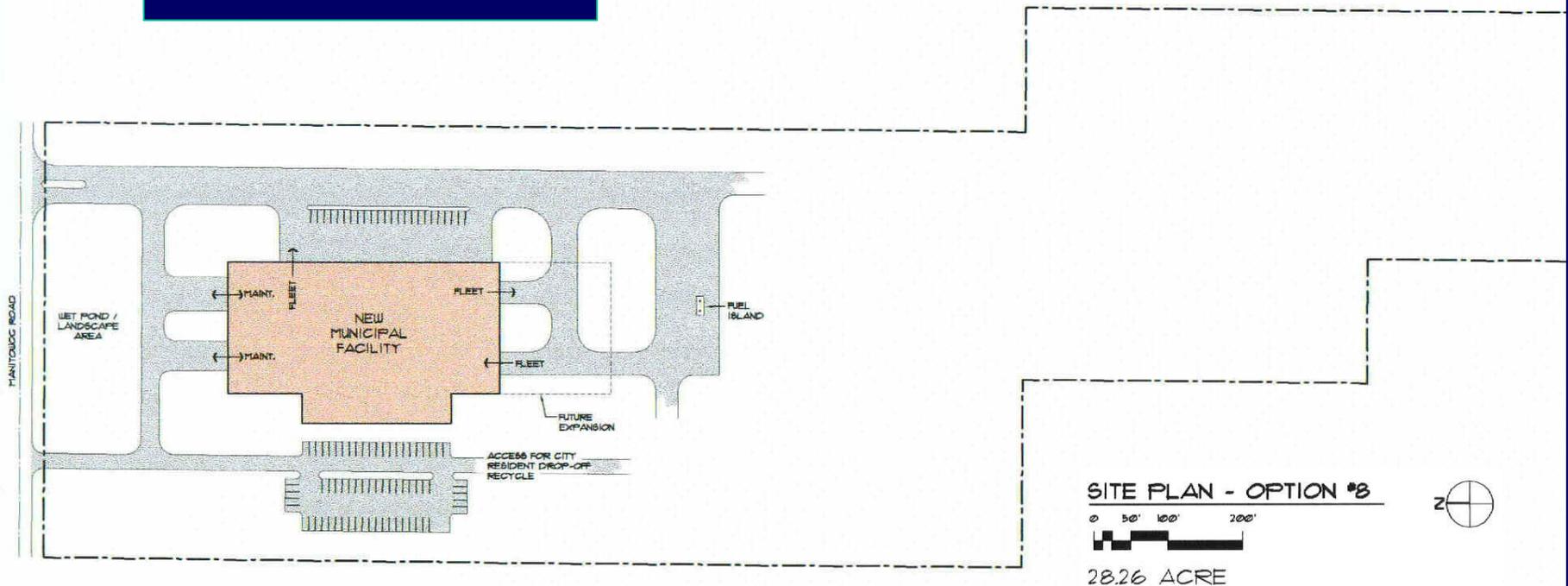


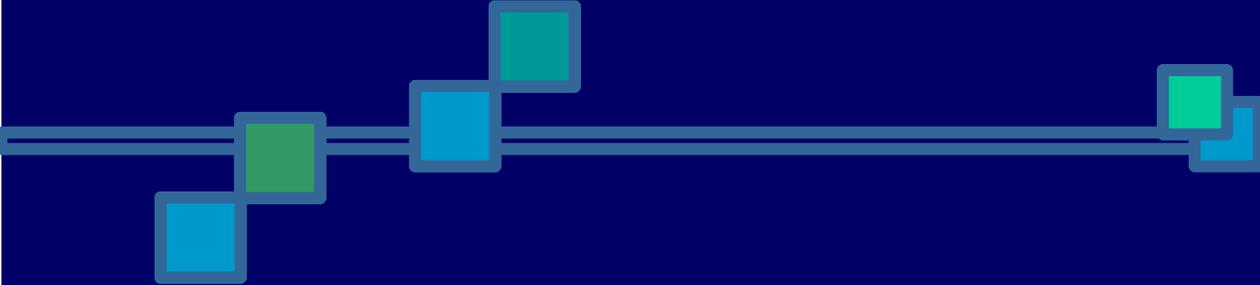


Option #8

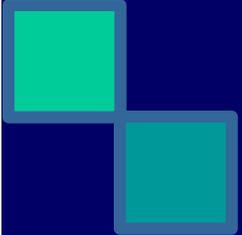
- 
- Lake Park and Manitowoc -- southeast side
 - No tax base loss
 - No involvement from Appleton
 - Added costs for operations -- \$34,000
 - Traffic hazard remains
- 

Site Plan: OPTION 8 16.90 Ac.





Conclusion

- 
- Recommend one or more of the strategies for further consideration
 - Bowers Property (Option #5) will not be available after March 21, 2003
- 