

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA  
PLAN COMMISSION  
Council Chambers  
140 Main Street, Menasha**

**December 2, 2008**

**3:30 PM**

**AGENDA**

**PUBLIC HEARINGS:**

*Special Use Permit – UW Fox Valley – 1655 University Drive  
Special Use Permit – Habitat for Humanity – 1381 Midway Road  
Special Use Permit – Keystone Development – Parkside Drive*

**A. CALL TO ORDER**

**B. ROLL CALL/EXCUSED ABSENCES**

**C. MINUTES TO APPROVE**

1. [Minutes of the November 18, 2008 Plan Commission Meeting](#)

**D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA**

Five (5) minute time limit for each person

**E. DISCUSSION**

1. None

**F. ACTION ITEMS**

1. [Special Use Permit – UW Fox Valley – 1655 University Drive](#)
2. [Special Use Permit – Habitat for Humanity – 1381 Midway Road](#)
3. [Special Use Permit – Keystone Development – Parkside Drive](#)
4. [Consideration of Changes to Rezoning Notification Requirements](#)
5. [Reconsideration of Province Terrace Greenspace](#)

**G. ADJOURNMENT**

**CITY OF MENASHA  
Plan Commission  
Third Floor Council Chambers  
140 Main Street, Menasha**

**November 18, 2008**

**3:30 PM**

**MINUTES**

**PUBLIC HEARINGS:**

*Rezoning – St. John’s Polish Cemetery (part – Valley Road*

Mayor Merkes opened the public hearing by asking if anyone would like to speak regarding the rezoning. No one spoke. The hearing was closed.

**A. CALL TO ORDER**

The meeting was called to order at 3:34 p.m. by Mayor Merkes.

**B. ROLL CALL/EXCUSED ABSENCES**

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Ald. Benner, DPW Radtke and Commissioners Sanders Schmidt, and Sturm.

PLAN COMMISSION MEMBERS EXCUSED: Commissioner Cruickshank

OTHERS PRESENT: CDD Keil, AP Beckendorf and Lonnie Pichler

**C. MINUTES TO APPROVE**

1. Minutes of the November 4, 2008 Plan Commission Meeting.
  - a. Moved by Comm. Sanders, seconded by Comm. Sturm to approve the November 4, 2008 Plan Commission meeting minutes with the following change: Under item F. 1. a., change the word “combed” to “combined”. Motion carried.

**D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA**

No one from the gallery spoke.

**E. DISCUSSION**

1. None

**F. ACTION ITEMS**

1. Utility Cabinet Ordinance Options.
  - a. CDD Keil explained the reason for drafting such an ordinance. Commissioners discussed the following:
    - I. Proliferation of VRAD cabinets
    - II. Definition of “utility cabinet”
    - III. FCC rules regarding disallowing utility cabinets

- IV. Existing city regulations consisting of vision control regulation
- V. Requiring a permit for installation – including cabinets both in the Rights-of-Way and on private property
- VI. Distinguishing between cabinet size – major and minor cabinets
- VII. Requiring placement in rear yards where feasible
- VIII. Permit process, easements and setbacks

2. Province Terrace Greenspace.

- a. AP Beckendorf described the location and reviewed the Park Board recommendation. Commissioners discussed the following:
  - I. Maintenance by the stormwater utility or parks department
  - II. Value of the property
  - III. The value of open greenspace
- b. Comm. Sturm made and Ald. Benner seconded a motion to recommend retaining the south 150 feet of Lot 10, Province Terrace. The motion failed on roll call 3-3 (Sanders, Merkes, Radtke – no).

**G. ADJOURNMENT**

Moved by DPW Radtke, seconded by Comm. Sanders to adjourn at 4:38 p.m. The motion carried on voice vote.

Minutes respectfully submitted by Jessica Beckendorf, Associate Planner



To: Greg Keil  
Community Development Director  
City of Menasha

Date: November 14<sup>th</sup>, 2008  
SEH File No.: \_\_\_\_\_  
Client No.: \_\_\_\_\_

Re: UWFox 1655 University Drive Property Site Plan

**We are:**

- Enclosing                                       Sending under separate cover                                       Sending as requested

17 sets of existing site plan  
17 set of exterior photos  
1 site plan review application

1 check for \$100.00 for review fee.

**For your:**

- Information/Records                                       Review and comment                                       Approval  
 Action                                       Distribution                                       Revision and resubmittal

**Remarks:**

By: Trevor Frank \_\_\_\_\_

c:

# City of Menasha

## Site Plan Review Application

Date: 11/14/08

Site Address: 1655 UNIVERSITY DR.

Zoning: I-2

Parcel #: 6-01671-0

Name of Business: UW- FOX VALLEY

Contact: JIM EAGON

Mailing Address: 1478 MIDWAY RD  
(if different) MENASHA WI 54952

Phone: 920-832-2614

Fax: \_\_\_\_\_

Applicant (if different): S.E.H.

Contact: TREVOR FRANK

Address: 425 W. WATER ST. SUITE 300  
APPLETON WI 54911

Phone: 920-380-2806

Fax: 920-380-2801

Site Plan Preparer: S.E.H.

Contact: TREVOR FRANK

Address: 425 W. WATER ST SUITE 300  
APPLETON WI 54911

Phone: 920-380-2806

Fax: 920-380-2801

Describe the proposed type of development and use of property:

TO BE USED FOR UNIVERSITY FUNCTIONS.

Please submit the following: \_\_\_\_\_ site plan review fee  
 \_\_\_\_\_ Site Development Agreement  
 17 folded copies of site plan (required for final submittal)

*I certify that this application and the submitted site plan are to the best of my knowledge complete and drawn in accordance with the requirements listed in the Site Plan Review Guide and with all City of Menasha Ordinances.*

Signature: [Handwritten Signature]

office use only

Plan Review #:		Check #:		
Fee:	\$ <span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	Check #:	<span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	Refund: <span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>
Deposit:	\$ <span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	Check #:	<span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	
Approval:	<span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	Conditions:	<span style="border-bottom: 1px solid black; display: inline-block; width: 100px;"></span>	



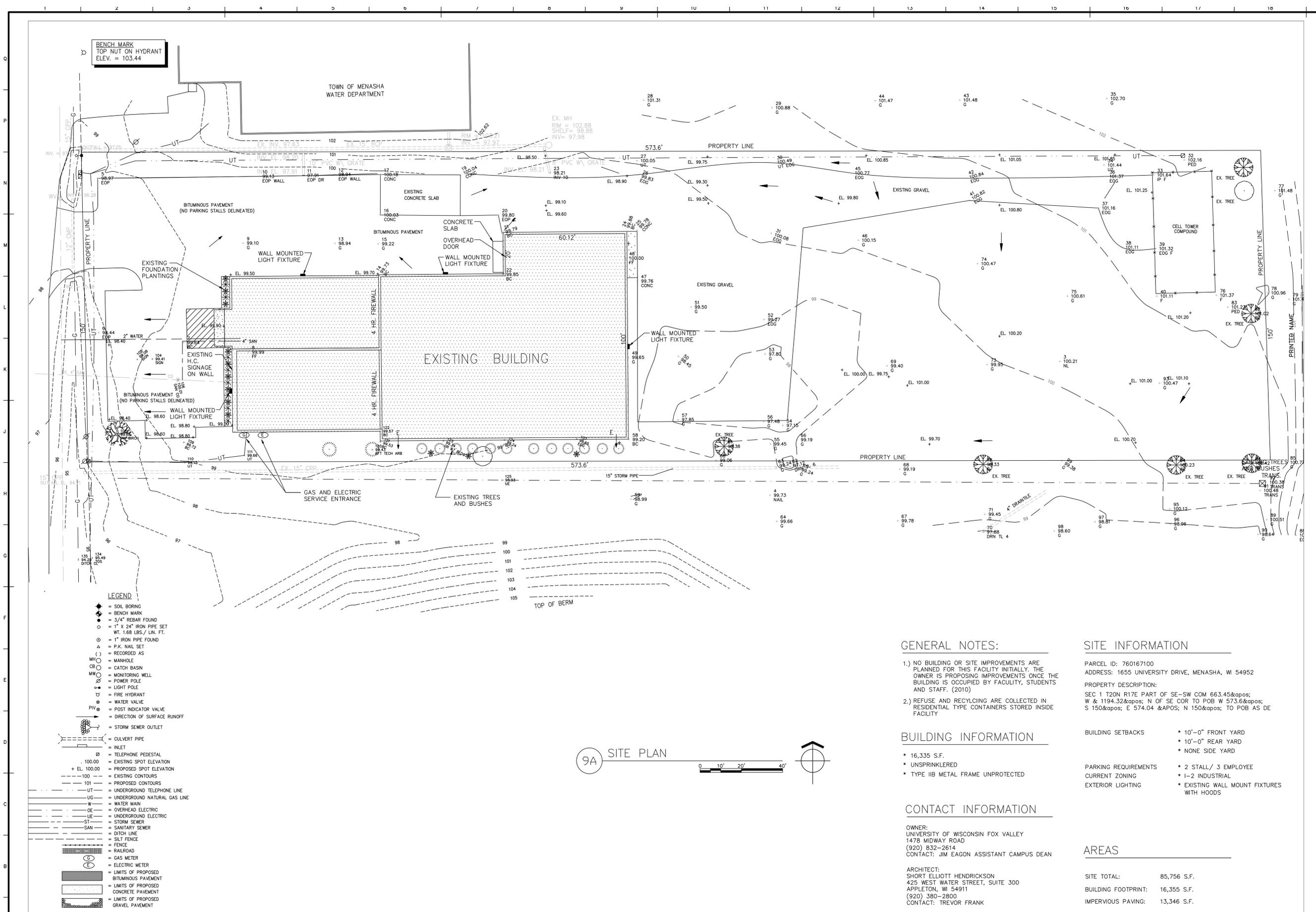
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UNIVERSITY OF WISCONSIN  
 FOX VALLEY  
 1655 UNIVERSITY DRIVE BUILDING  
 MENASHA, WISCONSIN

SEH FILE NO. 105607  
 ISSUE DATE: NOV 13, 2008  
 DESIGNED BY: JRL  
 DRAWN BY: TMF  
 PROJECT MGR: JRL

SHEET CONTENTS  
 EXISTING SITE PLAN

SP100



BENCH MARK  
 TOP NUT ON HYDRANT  
 ELEV. = 103.44

TOWN OF MENASHA  
 WATER DEPARTMENT

EXISTING BUILDING

LEGEND

- = SOIL BORING
- = BENCH MARK
- = 3/4" REBAR FOUND
- = 1" X 24" IRON PIPE SET WT. 1.68 LBS./LIN. FT.
- = 1" IRON PIPE FOUND
- = EX. NAIL SET
- ( ) = RECORDED AS
- MH = MANHOLE
- CB = CATCH BASIN
- MW = MONITORING WELL
- = POWER POLE
- = LIGHT POLE
- = FIRE HYDRANT
- = WATER VALVE
- = POST INDICATOR VALVE
- = DIRECTION OF SURFACE RUNOFF
- = STORM SEWER OUTLET
- = CULVERT PIPE
- = INLET
- = TELEPHONE PEDESTAL
- = EXISTING SPOT ELEVATION
- + EL. 100.00 = PROPOSED SPOT ELEVATION
- = EXISTING CONTOURS
- = PROPOSED CONTOURS
- UT = UNDERGROUND TELEPHONE LINE
- UG = UNDERGROUND NATURAL GAS LINE
- W = WATER MAIN
- OE = OVERHEAD ELECTRIC
- UE = UNDERGROUND ELECTRIC
- ST = STORM SEWER
- SAN = SANITARY SEWER
- = DITCH LINE
- = SILT FENCE
- = FENCE
- = RAILROAD
- = GAS METER
- = ELECTRIC METER
- = LIMITS OF PROPOSED BITUMINOUS PAVEMENT
- = LIMITS OF PROPOSED CONCRETE PAVEMENT
- = LIMITS OF PROPOSED GRAVEL PAVEMENT



GENERAL NOTES:

- 1.) NO BUILDING OR SITE IMPROVEMENTS ARE PLANNED FOR THIS FACILITY INITIALLY. THE OWNER IS PROPOSING IMPROVEMENTS ONCE THE BUILDING IS OCCUPIED BY FACULTY, STUDENTS AND STAFF. (2010)
- 2.) REFUSE AND RECYCLING ARE COLLECTED IN RESIDENTIAL TYPE CONTAINERS STORED INSIDE FACILITY

BUILDING INFORMATION

- \* 16,335 S.F.
- \* UNSPRINKLERED
- \* TYPE IIB METAL FRAME UNPROTECTED

CONTACT INFORMATION

OWNER:  
 UNIVERSITY OF WISCONSIN FOX VALLEY  
 1478 MIDWAY ROAD  
 (920) 832-2614  
 CONTACT: JIM EAGON ASSISTANT CAMPUS DEAN

ARCHITECT:  
 SHORT ELLIOTT HENDRICKSON  
 425 WEST WATER STREET, SUITE 300  
 APPLETON, WI 54911  
 (920) 380-2800  
 CONTACT: TREVOR FRANK

SITE INFORMATION

PARCEL ID: 760167100  
 ADDRESS: 1655 UNIVERSITY DRIVE, MENASHA, WI 54952  
 PROPERTY DESCRIPTION:  
 SEC 1 T20N R17E PART OF SE-SW COM 663.45&apos; W & 1194.32&apos; N OF SE COR TO POB W 573.6&apos; S 150&apos; E 574.04 &apos; N 150&apos; TO POB AS DE

BUILDING SETBACKS \* 10'-0" FRONT YARD  
 \* 10'-0" REAR YARD  
 \* NONE SIDE YARD  
 PARKING REQUIREMENTS \* 2 STALL/ 3 EMPLOYEE  
 CURRENT ZONING \* I-2 INDUSTRIAL  
 EXTERIOR LIGHTING \* EXISTING WALL MOUNT FIXTURES WITH HOODS

AREAS

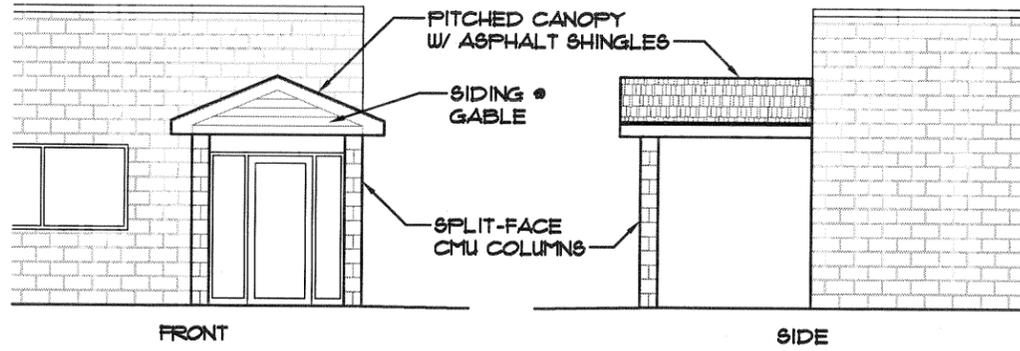
SITE TOTAL: 85,756 S.F.  
 BUILDING FOOTPRINT: 16,355 S.F.  
 IMPERVIOUS PAVING: 13,346 S.F.



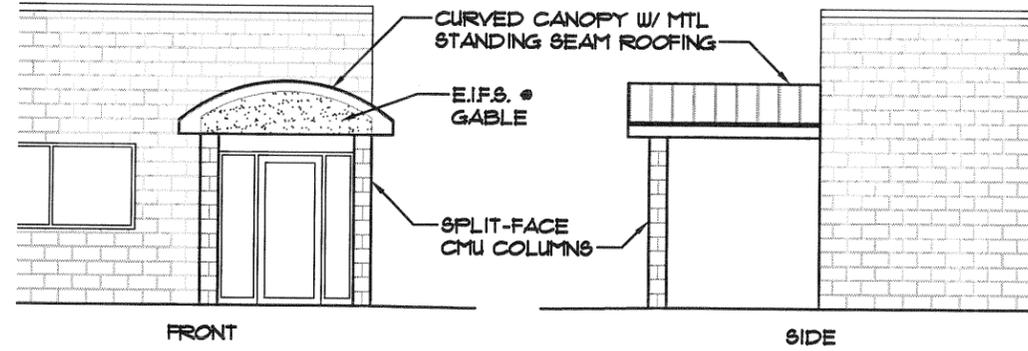




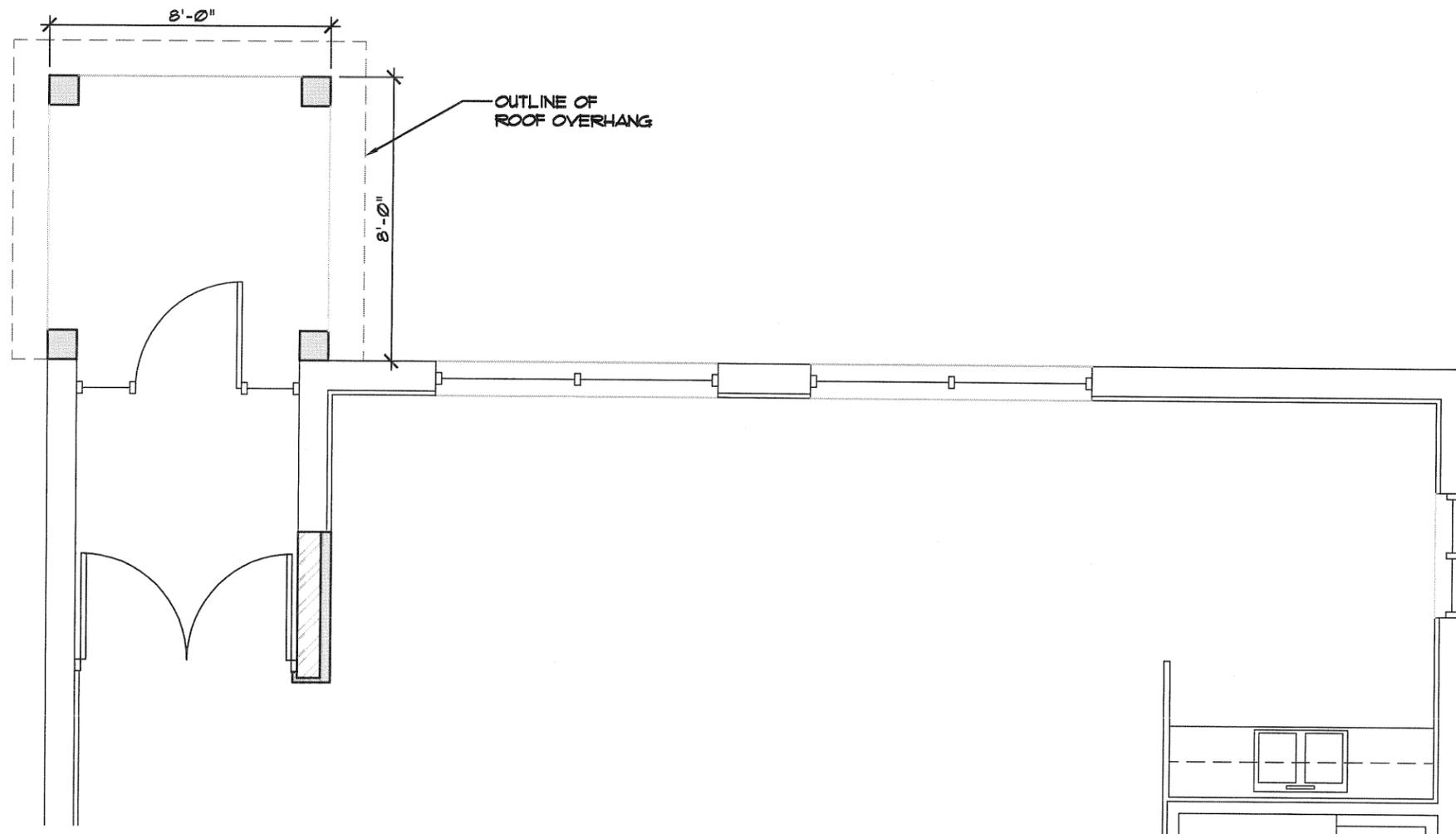




2 ENTRY OPTION A  
A-1 1/8" = 1'-0"



3 ENTRY OPTION B  
A-1 1/8" = 1'-0"



1 PARTIAL NEW FLOOR PLAN  
A-1 1/4" = 1'-0"

Martenson & Eisele, Inc.  
1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381



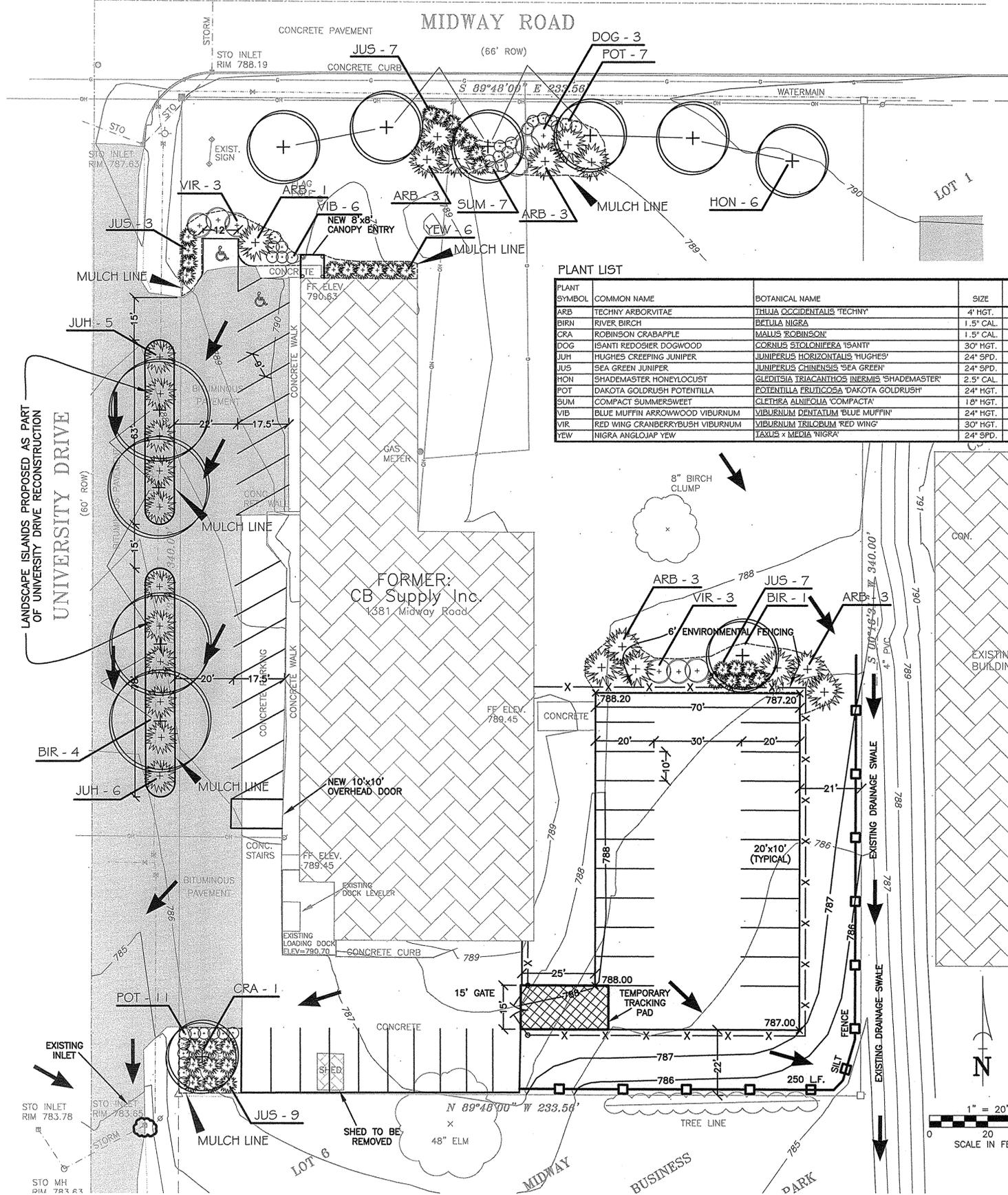
NO.	DATE	CHECKED	APPROVED	REVISION

PROPOSED REMODELING FOR  
HABITAT FOR HUMANITY  
1381 MIDWAY ROAD  
MENASHA, WI

SCALE: DATE: 11-30-08  
PROJECT NUMBER:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NO.

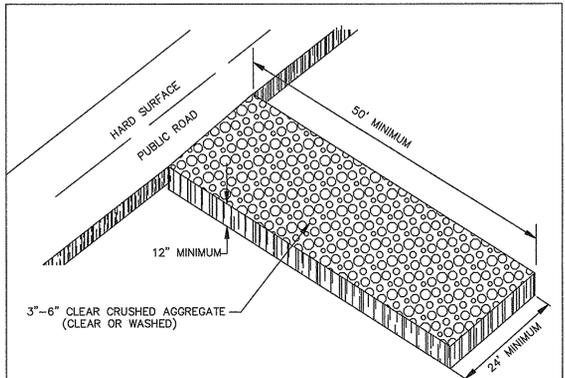


### LEGEND

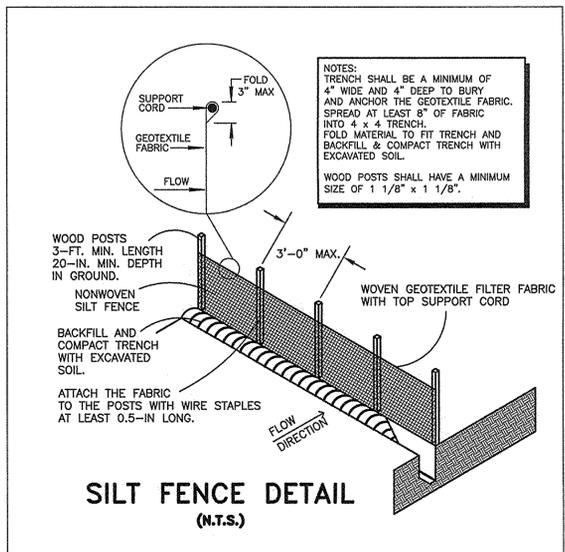
- SILT FENCE
- INLET: EROSION PROTECTION
- STORM SEWER INLET
- EROSION CONTROL MAT CLASS II, TYPE B
- 796.08 PROPOSED ELEVATION
- DIRECTION OF DRAINAGE
- 797- EXISTING CONTOUR
- 797- PROPOSED CONTOUR
- TRAFFIC FLOW ARROW

### PLANT LIST

PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	FORM	QTY.	ROOT	SPACING (FL. O.C.)	SIZE AT MATURITY
ARB	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	4' HGT.		13	B4B	9	15 12
BIRN	RIVER BIRCH	BETULA NIGRA	1.5" CAL.			B4B	65	50
CRA	ROBINSON CRABAPPLE	MALUS 'ROBINSON'	1.5" CAL.		1	B4B/POTTED	20	25 25
DOG	ISANTI REDOSIER DOGWOOD	CORNUS STOLONIFERA 'ISANTI'	30" HGT.		3	POTTED	7	8 8
JUH	HUGHES CREEPING JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	24" SPD.		11	POTTED	7	1.5 8
JUS	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" SPD.		26	POTTED	5	4 6
HON	SHADEMASTER HONEYLOCUST	GLEITSIA TRIACANTHOS 'INERMIS 'SHADEMASTER'	2.5" CAL.		6	B4B		45 40
POT	DAKOTA GOLDRUSH POTENTILLA	POTENTILLA FRUTICOSA 'DAKOTA GOLDRUSH'	24" HGT.		10	POTTED	3	3 4
SUM	COMPACT SUMMERSWEET	CLETHRA ALNIFOLIA 'COMPACTA'	18" HGT.		7	POTTED	3	4 4
VIB	BLUE MUFFIN ARROWWOOD VIBURNUM	VIBURNUM DENTATUM 'BLUE MUFFIN'	24" HGT.		6	POTTED	4	5 5
VIR	RED WING CRANBERRYBUSH VIBURNUM	VIBURNUM TRILOBUM 'RED WING'	30" HGT.		6	B4B/POTTED	7	8 8
YEW	NIGRA ANGIOJAP 'YEW	TAXUS x MEDIA 'NIGRA'	24" SPD.		6	B4B/POTTED	4.5	4 6



**TRACKING PAD: CONST. ENTRANCE (N.T.S.)**



**SILT FENCE DETAIL (N.T.S.)**

- ### EROSION CONTROL NOTES
- THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
  - ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
  - THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
  - THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
  - THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
  - INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH CITY OF MENASHA SPECIFICATIONS.

- ### SITE/PROJECT INFORMATION
- ZONING OF PARCEL AND SURROUNDING AREA IS C-4
- PARKING REQUIREMENTS**  
 4,000 S.F. OFFICE = 20 STALLS  
 10,000 S.F. STORAGE = 1 STALL
- PARKING PROVIDED**  
 25 STALLS ON EXISTING PAVEMENT  
 21 STALLS ON PROPOSED LOT
- LANDSCAPING OF UNIVERSITY DRIVE LANDSCAPE ISLANDS BY FCAHFH AFTER COMPLETION OF STREET RECONSTRUCTION BY THE CITY OF MENASHA.
- REFUSE AND RECYCLING CONTAINERS WILL BE STORED INSIDE WAREHOUSE AREA.
- NEW PARKING AREA AND DRIVE SHALL BE 10" CRUSHED STONE BASE AND 3" ASPHALT PAVEMENT E-1.
- ALL STORM WATER RUNOFF DRAINS TO THE EXISTING STORM WATER POND SERVING THE MIDWAY BUSINESS PARK.

### TOPOGRAPHIC LEGEND

	1-1/4" x 30' REBAR SET		OVERHEAD POWER LINES		GAS VALVE
	CHEVELED "X" SET		UNDERGROUND ELECTRIC		EXIST. STORM MANHOLE
	3/4" REBAR FOUND		UNDERGROUND TELEPHONE		STORM INLET
	1" IRON PIPE FOUND		UNDERGROUND FIBER OPTIC		YARD DRAIN
	1-1/4" REBAR FOUND		UNDERGROUND GAS		EXIST. SANITARY MANHOLE
	2" IRON PIPE FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	CHEVELED "X" FOUND		EXIST. FENCE LINE		EXIST. STO. SEWER
	GOVERNMENT CORNER		SIGN		EXIST. WATER MAIN
	RECORDED AS		POWER POLE		EXIST. SPOT ELEVATION
	CONFERROUS TREE		LIGHT POLE		CONTOUR W/ ELEVATION
	DECIDUOUS TREE		TELEPHONE PEDESTAL		EXIST. TOP OF CURB ELEV.
	EXIST. WOODS LINE		ELECTRIC PEDESTAL		EXIST. FLOW LINE ELEV.
	WETLANDS		CABLE PEDESTAL		FF = 800.00 FIRST FLOOR = 800.00
	SOIL BORING		EXIST. HYDRANT		TOPSOIL DEPTH
			WATER VALVE		INFILTRATION SOIL BORING
			WATER STOP BOX		

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture

1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

NO.	DATE	REVISION
1	11-03-08	DRAINAGE EROSION

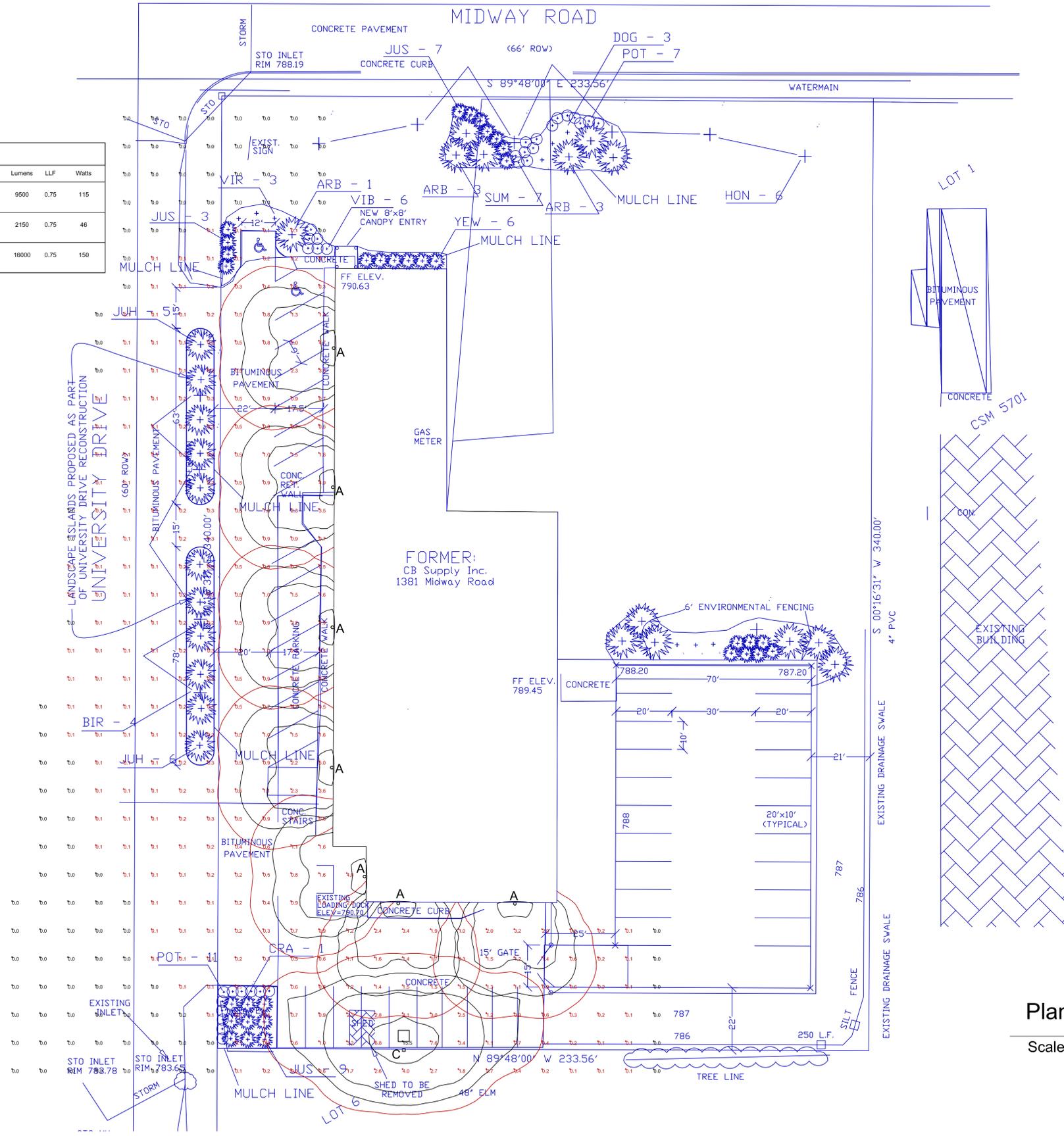
**SITE PLAN**

FOX CITIES AREA HABITAT FOR HUMANITY  
 PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 12,  
 TOWN 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO  
 COUNTY, WISCONSIN

SCALE: 1"=20'  
 DATE: Oct. 28, 2008  
 COMPUTER FILE: 284338de.dwg

DRAWING NO. 264-338

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	A	7				Wpm100kjes	9500	0.75	115
□	B	0				Tlw35kjes	2150	0.75	46
□	C	1				Mcl3150kjes	16000	0.75	150



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Planning  
 Environmental  
 Surveying  
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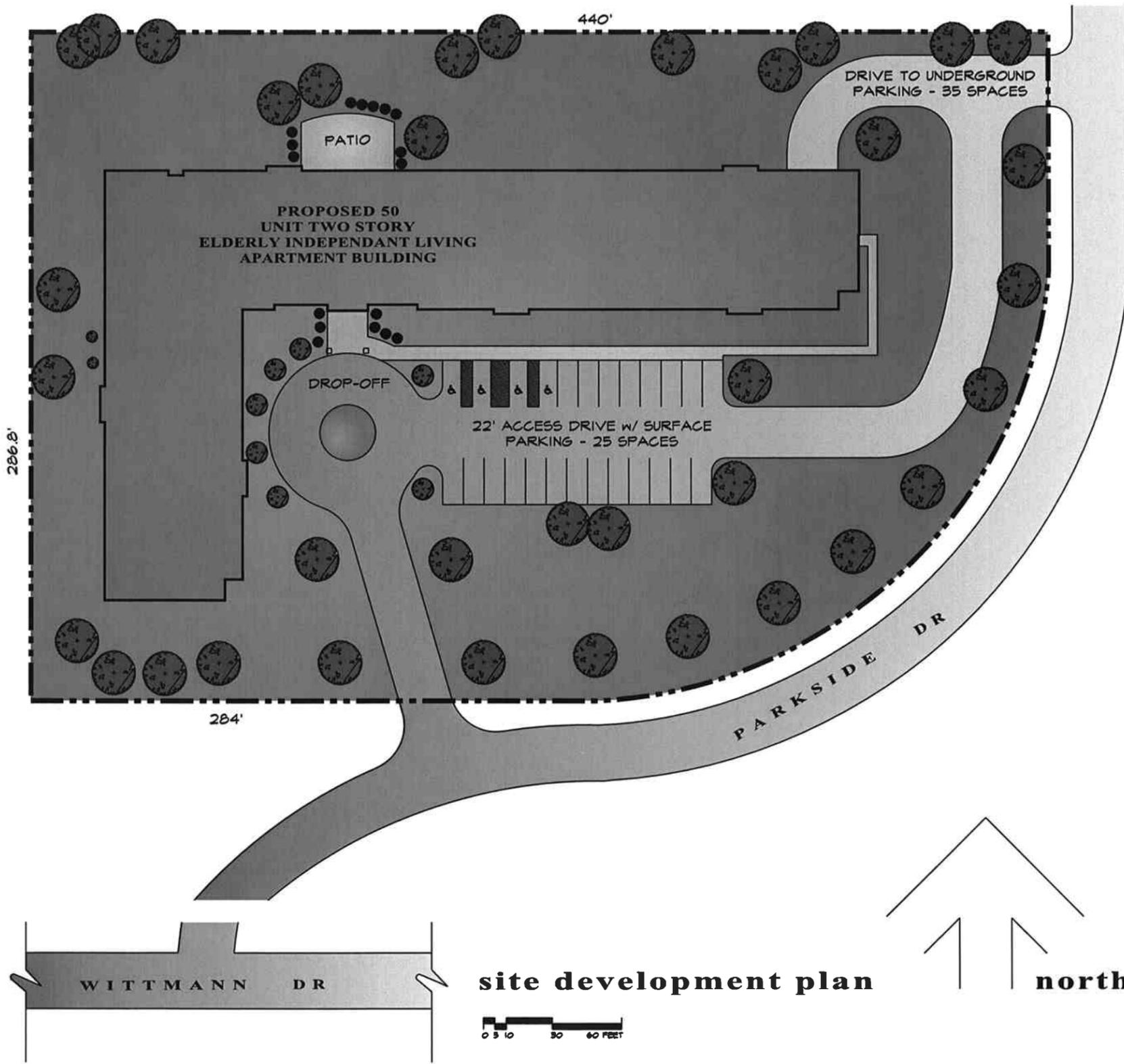
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GRC	SCM	
NO.	DATE <td>REVISION </td>	REVISION
1	11-03-08	DRAINAGE EROSION

**SITE PLAN**  
 FOX CITIES AREA HABITAT FOR HUMANITY  
 PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 12,  
 TOWN 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO  
 COUNTY, WISCONSIN

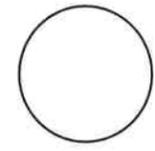
SCALE	DATE
1"=20'	Nov. 26, 2008
COMPUTER FILE	
264338de.dwg	

Plan View  
 Scale 1" = 20'

DRAWING NO.  
 E-1



<b>development summary</b>	
<b>building summary:</b>	
TOTAL NO. OF UNITS:	50
	20 - ONE BEDROOM
	30 - TWO BEDROOM
BUILDING HEIGHT:	3 STORIES
<b>site summary:</b>	
SITE AREA:	2.1 +/- ACRES 17,499 S.F.
DENSITY:	14.3 UNITS PER ACRE 2,850 S.F. PER UNIT
PARKING:	60 SPACES INCLUDING 4 HS. SPACES 56 UNDERGROUND
NOTE: THIS BUILDING IS NOT LOCATED IN THE 100 YEAR FLOOD PLAN	



**NCR**  
**Menasha**

Menasha, Wisconsin

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3. APPROXIMATELY 500 SHEETS, SUBJECT TO THE CLIENT'S APPROVAL.

**PRELIMINARY SET**

DATE: 11/8/05  
PROJECT #: 05160  
COPYRIGHT: 2005

SITE  
DEVELOPMENT  
PLAN

**C101**

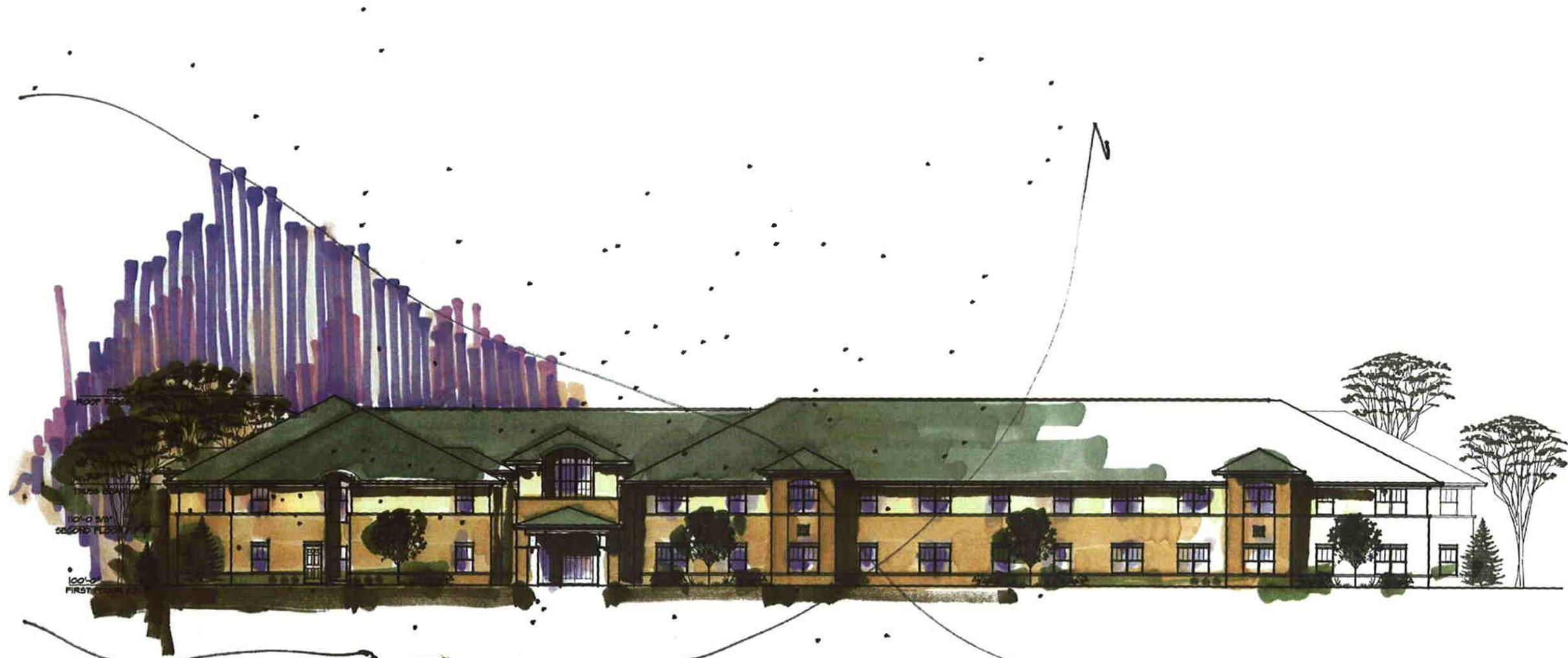


300 East Livingston Ave. Columbus, Ohio 43215  
Phone (614)221-1110 Fax (614)221-0831  
Email: bpiarch@bpiarch.com

**site development plan**

**north**





100'-0" BAY  
SECOND FLOOR  
100'-0" BAY  
FIRST FLOOR

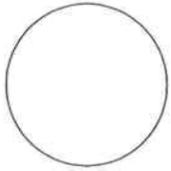
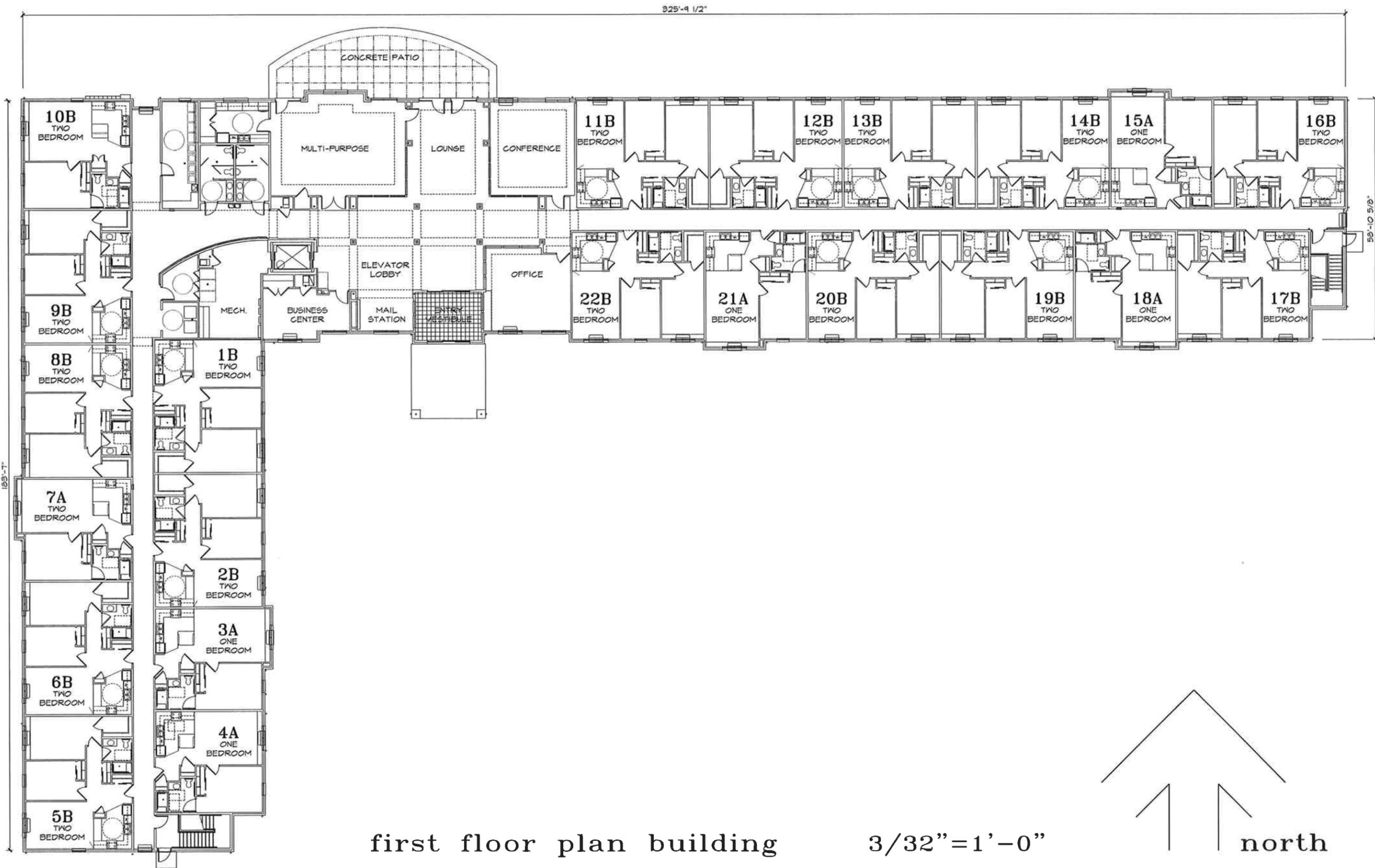
front elevation



berardi  
+partners

369 East Livingston Ave. Columbus, Ohio 43215  
Phone (614)221-1110 Fax (614)221-0631  
Email: bplarch@bplarch.com

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NCR  
Menasha

Menasha, Wisconsin

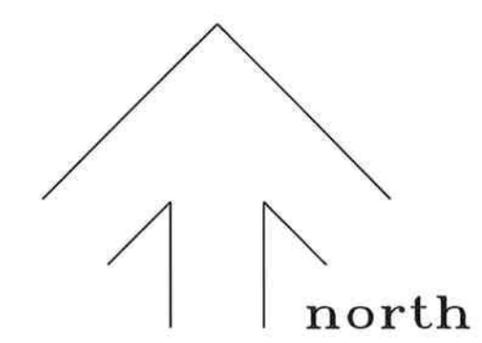
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HEREIN ARE THE SOLE PROPERTY OF  
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ARCHITECTS AND ENGINEERS,  
AND MAY NOT BE REPRODUCED  
WITHOUT ITS WRITTEN PERMISSION.  
NOTE:  
1. ALL BIDDERS SHALL VISIT THE  
SITE AND BECOME FAMILIAR WITH  
THE EXISTING CONDITIONS AND  
REQUIREMENTS OF THE PROJECT  
AND SHALL NOTIFY THE ARCHITECT  
OF ANY ERRORS AND OMISSIONS  
IMMEDIATELY DISCOVERED IN  
THE CONTRACT DOCUMENTS.  
2. THE CONTRACT DOCUMENTS ARE  
COMPRISED OF THE DRAWINGS  
AND THE PROJECT MANUAL. IN  
THEIR ENTIRETY, THE INFORMATION  
IN THESE DOCUMENTS IS  
DEPENDENT UPON AND COMPLE-  
MENTARY OF EACH OTHER. SEPA-  
RATION OF THE CONTRACT  
DOCUMENTS SHALL NOT BE  
PERMITTED. IF THE CONTRACTOR  
CHOOSES TO SEPARATE THE  
DOCUMENTS THEY DO SO AT  
THEIR OWN RISK AND EXPENSE.  
3. ADDITIONALLY, SEE GENERAL  
INFORMATION ON "A-D" SHEETS.

PRELIMINARY  
SET

DATE: 11/8/05  
PROJECT #: 05150  
COPYRIGHT: 2005

first floor plan building

3/32" = 1'-0"



FIRST  
FLOOR  
PLAN

A101



369 East Livingston Ave. Columbus, Ohio 43215  
Phone (614)221-1110 Fax (614)221-0831  
Email: bpiarch@bpiarch.com

ORDINANCE O - - 08

AN ORDINANCE RELATING TO REZONING NOTICES

Introduced by Mayor Merkes

The Common Council of the City of Menasha does ordain as follows:

SECTION 1: Sec. 13 – 1 – 142 is amended and recreated to read as follows:

The City Clerk or Community Development Department shall notify all property owners immediately adjacent and extending one hundred (100) feet from or directly opposite the property and extending one hundred (100) feet from the street frontage of the opposite land. Such notice shall be by *regular* mail and shall include the proposed rezoning, the date of the informal hearing before the Plan Commission, and the date of the formal hearing before the Common Council. Such notice shall be sent not less than seven (7) days prior to the informal hearing. The Clerk shall, with all due diligence, ascertain who all the owners of the property are. Failure to notify all owners where, with due diligence, such information cannot be obtained will not invalidate a rezoning ordinance per se. *Copies of all notices shall be filed with the Clerk.* The Clerk shall call upon the City Planner and Assessor for aid in their endeavor.

SECTION 2: This ordinance shall become effective upon its passage and publication as provided by law.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_,

\_\_\_\_\_  
Donald Merkes, Mayor

ATTEST:

\_\_\_\_\_  
Deborah A. Galeazzi, City Clerk



## Memorandum

TO: Plan Commission

FROM: Mayor Merkes 

SUBJECT: Reconsideration of maintaining 150' of lot 10 Province Terrace Plat

DATE: 25 November 2008

I have spoken with staff regarding the retention of the southern 150' of lot 10 Province Terrace plat and potential uses. In light of the discussion and information stated below I am requesting that the motion be reconsidered at this time.

Retaining the parcel is consistent with the park and open space plan 2007-2011 objective to *"preserve and maintain natural drainageways, woods, and other natural resources areas in and around the community and where possible utilize these areas for appropriate recreation development"*

Retaining this parcel is also consistent with the plan's recommendations for east of highway 10

*"The city should also continue to purchase wetlands and other open space in this area as they become available. The acquisition of existing natural drainageways should also be pursued"*

*"Steps should be taken to make sure if possible that future residential growth in the area east of highway 10 has convenient access to park facilities"*

Furthermore,

- ♦ Retaining the parcel and integrating it with stormwater management facilities allows greater opportunities and larger spaces for passive recreation and wildlife habitat.
- ♦ The parcels location adjacent to planned pedestrian and bike facilities provides good access to residents and employees in the area as well as links to other parks within the trail network.
- ♦ Development of the two adjacent parcels for passive recreation and natural habitat would provide the public with significant benefit with little added maintenance requirements for city staff.