

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**May 17, 2011
3:30 PM**

AGENDA

3:30 PM – Informal Public Hearing – Ordinance Relating to the Paving of Driveway and Parking Lots

- A. CALL TO ORDER
- B. ROLL CALL/EXCUSED ABSENCES
- C. MINUTES TO APPROVE
 - 1. [Minutes of the May 3, 2011 Plan Commission Meeting](#)
- D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA
 - Five (5) minute time limit for each person
- E. DISCUSSION
 - 1. None
- F. ACTION ITEMS
 - 1. [Site Plan Amendment – Minimax Storage – 1840 Bud Drive](#)
 - 2. [Ordinance Relating to the Paving of Driveways and Parking Lots](#)
- G. ADJOURNMENT

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
May 3, 2011
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order at 3:35 p.m. by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Commissioners Schmidt and Cruickshank, DPW Radtke and Ald. Benner

PLAN COMMISSION MEMBERS EXCUSED: Commissioners Homan and Sturm

OTHERS PRESENT: CDD Keil, Dave Stubbs and John Davel

C. MINUTES TO APPROVE

1. **Minutes of the April 19, 2011 Plan Commission Meeting**

Motion by Comm. Schmidt, seconded by Ald. Benner to approve the April 19, 2011 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. **Status of Driveway Ordinance**

CDD Keil reported that the amended driveway ordinance will be placed on the May 17 Plan Commission agenda.

F. ACTION ITEMS

1. **Site Plan Amendment – Community Clothes Closet – 1465 Opportunity Way**

CDD Keil reviewed the proposed addition to the Community Clothes Closet.

Plan Commissioners discussed:

- Drainage and storm water management
- Site lighting
- Landscaping
- Sidewalk/crosswalk
- Parking
- Turning radii & delivery vehicles
- Zoning classifications

Motion by Dave Schmidt, seconded by DPW Radtke to approve the site plan amendment based on the finding that the addition will increase the capacity of the Community Clothes Closet to serve the needs of Fox Cities residents, and subject to the conditions that a lighting plan be submitted demonstrating compliance with lighting standards and that the drainage and erosion control plan be reviewed and approved by the Public Works Department.

2. **Site Plan Amendment – Minimax Storage – 1840 Bud Drive**

CDD Keil reviewed the proposed site plan amendment.

Commissioners discussed:

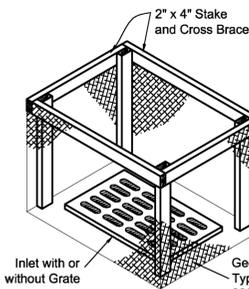
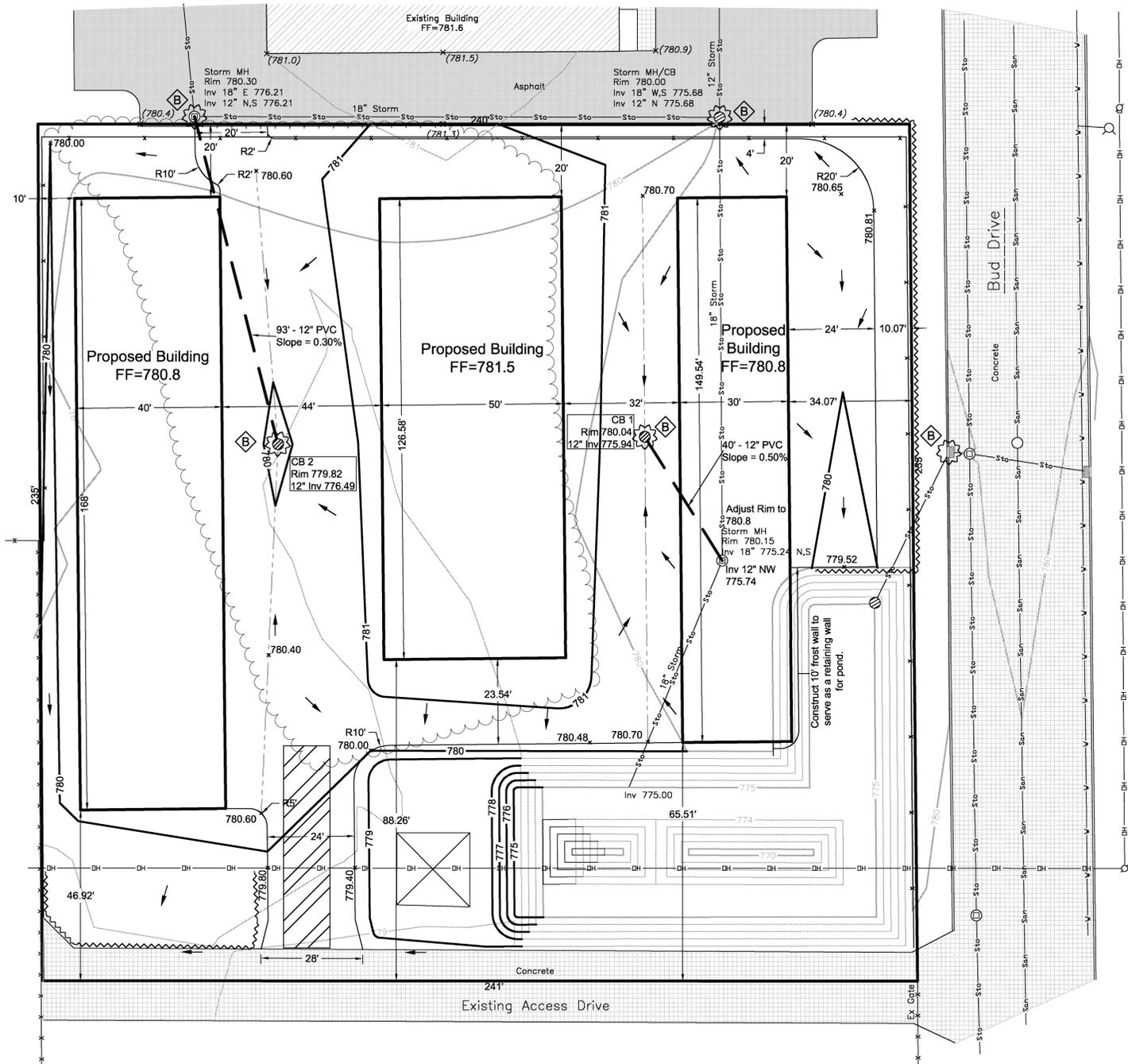
- Definition of steel panels
- Setbacks
- Landscaping
- Lighting
- Fencing

The consensus was to hold this item pending receipt of a revised site plan that met setback requirements, added landscaping along bud drive, and considers relocating the fence along Bud Drive to the west of the street ROW. Information is also to be provided about site lighting.

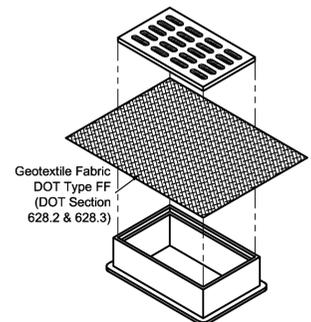
G. ADJOURNMENT

Motion by DPW Radtke, seconded by Ald. Benner to adjourn at 4:20 p.m. The motion carried.

Minutes respectfully submitted by Greg Keil, CDD.

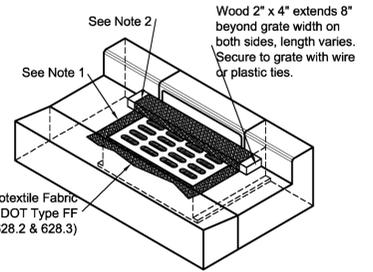


INLET PROTECTION, TYPE A



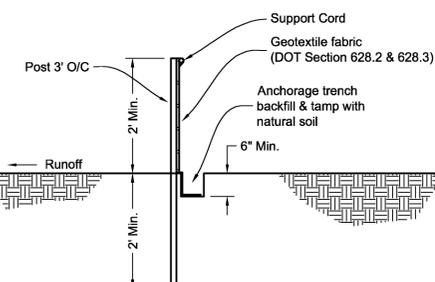
INLET PROTECTION, TYPE B
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:
Inlet protection devices shall be maintained or replaced at the direction of the engineer.
Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.
When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.
1. Finished size, including flap pockets where required, shall extend a minimum of 10' around the perimeter to facilitate maintenance or removal.
2. For inlet protection, Type C (with curb box), an additional 10" of fabric is wrapped around the wood and secured with staples. The wood shall not block the entire height of the curb box opening.
3. Flap pockets shall be large enough to accept wood 2x4.



INLET PROTECTION, TYPE C

INSTALLATION NOTES:
Inlet protection Type A shall be utilized around field inlets until permanent stabilization methods have been established. Inlet protection Type A shall be utilized on pavement inlets prior to installation of curb and gutter or pavement.
Inlet protection Type B shall be utilized on street inlets without curb heads, once surrounding surface is in place.
Inlet protection Type C shall be utilized on street inlets with curb heads.
TYPE B & C
Trim excess fabric in the flow line to within 3" of the grate.



SILT FENCE INSTALLATION

SITE PLAN NOTES:

Site Information
Proposed 1 story Storage Buildings
1840 Bud Drive
Parcel 740076103
Lot 2 of J.O. Johnson Industrial Park
Zoning: I-1 Heavy Industrial
Property is currently vacant
adjoining parcels are zoned I-1, currently warehousing and commercial buildings.
Total Development Impervious Area = 69.4% (39,277 SF)
Proposed Disturbed Area = 47,000± SF
Pr. Building coverage 17,535 SF
Proposed Pavement 19,579 SF
Existing Pavement 2,163 SF
Lawn and Landscaping 17,301 SF
Total Site Area 56,578 SF (1.30 Acres)

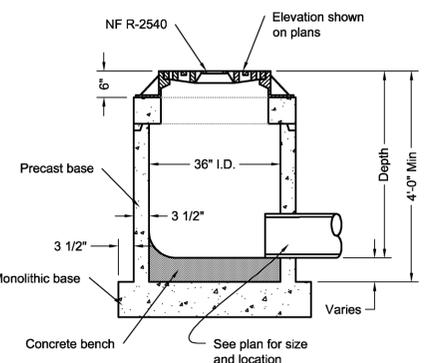
No fire protection system is proposed.

Setbacks:
Front: Building = 30'
Parking = 10'
Sides: 10'
Rear: 10'

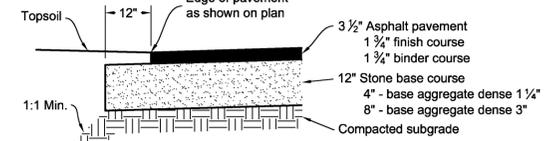
Owner
Minimax Properties LLC
1820 Bud Drive
Menasha, WI 54952

NOTES:

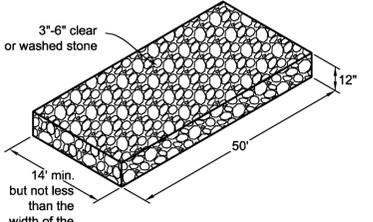
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Silt fence shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Silt fence shall be installed prior to site grading.
- Inlet protection shall be installed around inlets, in accordance with Wisconsin DOT Standard Detail Drawing 8E10-2.
- Gravel access shall be provided to construction.
- Tracking of mud on existing streets shall be cleaned up daily.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site.
- Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the property owner at the end of the construction or upon demand during construction.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.



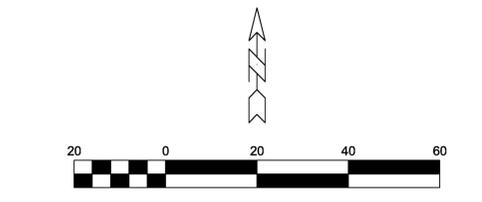
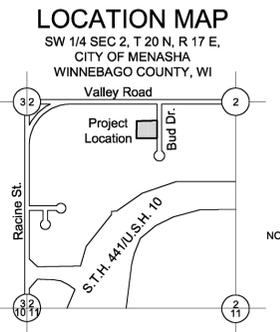
ROUND INLET



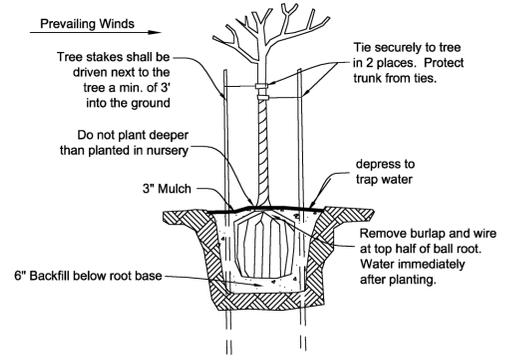
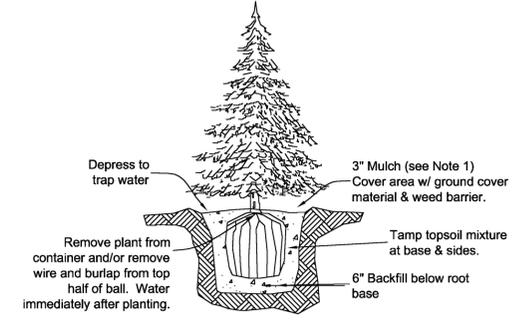
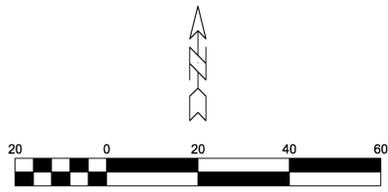
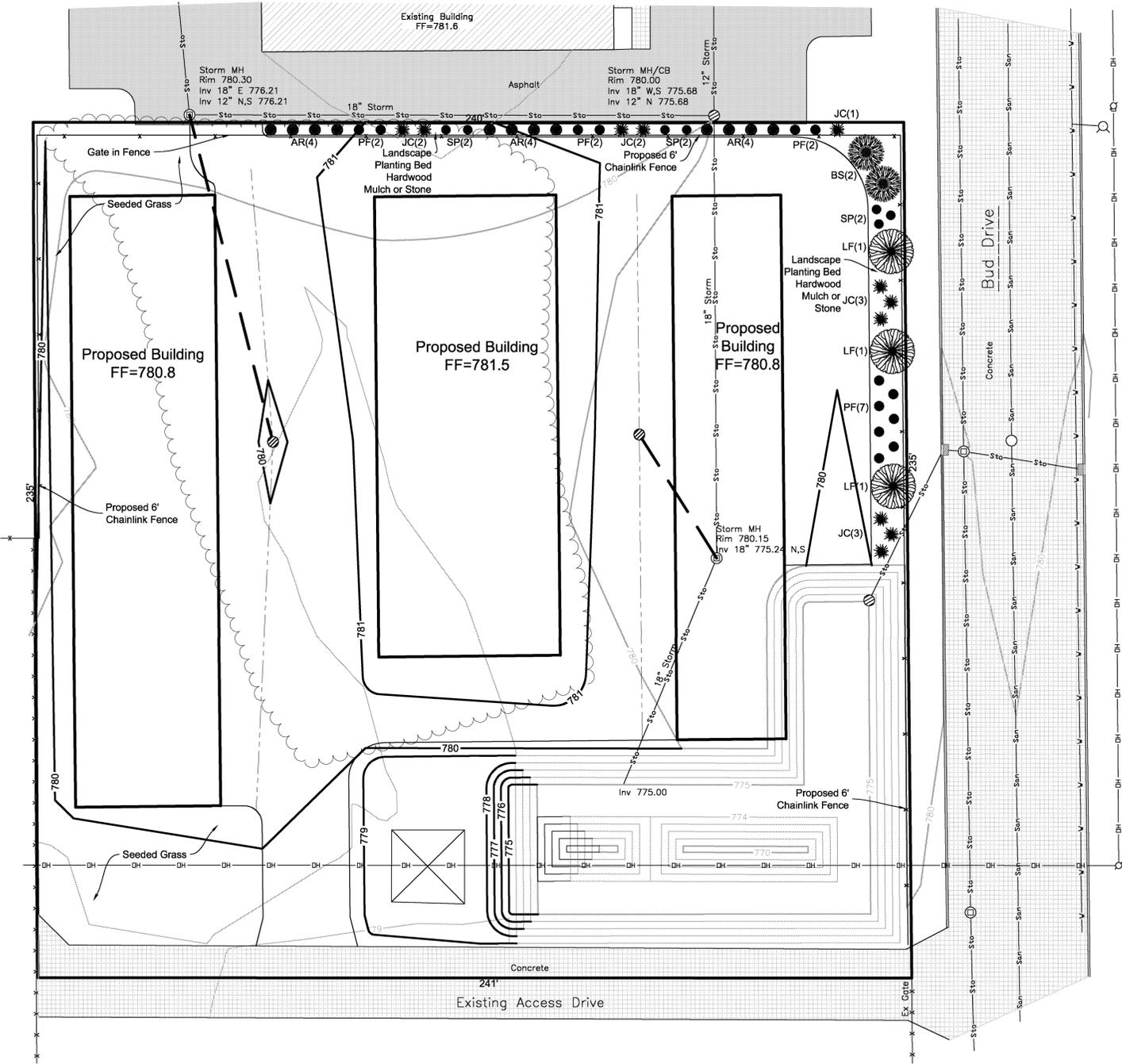
PAVEMENT SECTION



TRACKING PAD DETAIL



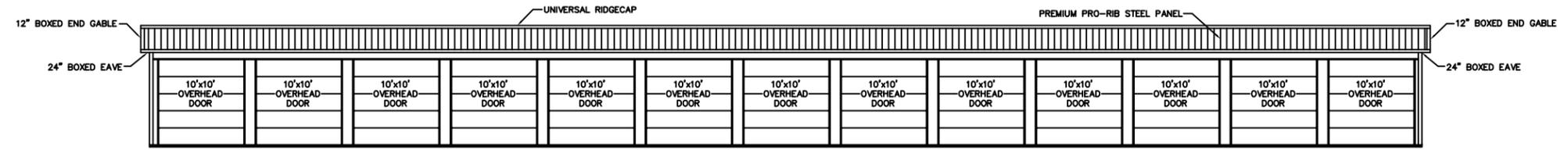
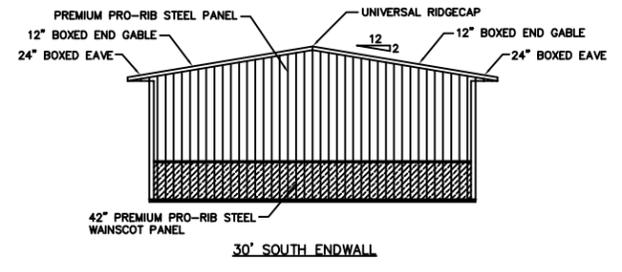
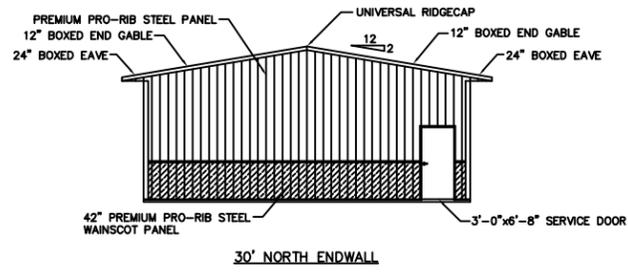
LEGEND



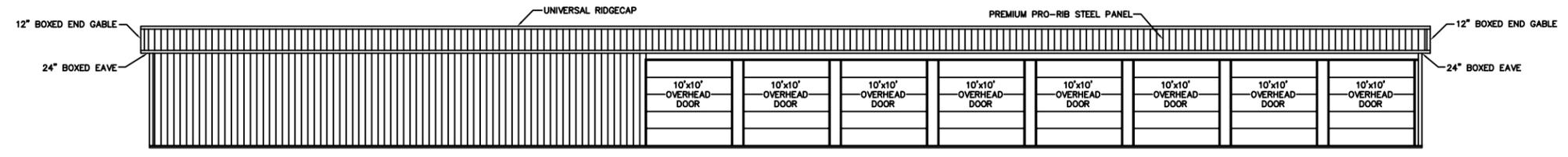
Plant Schedule					
I.D.	Common Name	Latin Name	Planting Size	Mature Size	Qty.
LF	Frontyard American Linden	Tilia Americana 'Frontyard'	2.5" Cal	40'x70'	3
BS	Black Hills Spruce	Picea Glauca 'Densata'	4' Hgt	14'x40'	2
JC	Sea Green Juniper	Juniperus Chinensis 'Sea Green'	24" Spd	4'x6'	11
PF	Dakota Goldrush Potentilla	Potentilla Fruticosa 'Dakota Goldrush'	24" Hgt	3'x4'	13
AR	Holstrup Arborvitae	Thuja Occidentalis 'Holmstrup'	12" Hgt	6'x3'	12
SP	Magic Carpet Japanese Spirea	Spirea Japonica 'Magic Carpet'	12" Hgt	2'x3'	7

LANDSCAPE PLAN

Bud Drive Mini Storage
 City of Menasha, Winnebago County, WI
 For: Minimax Storage, LLC

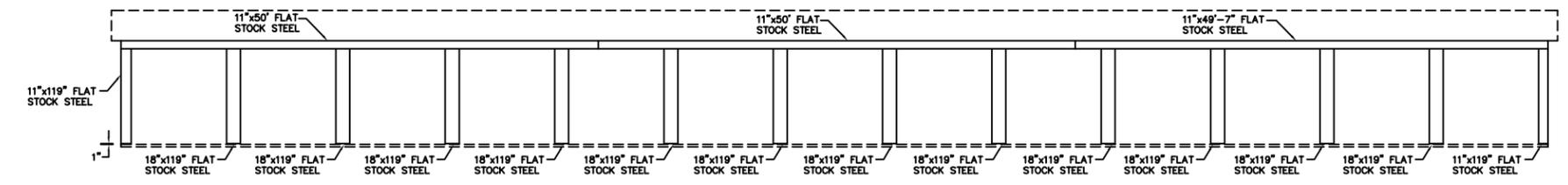
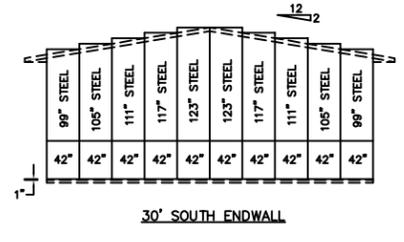
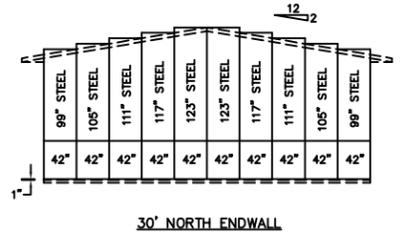


149'-6 1/2" WEST SIDEWALL Δ

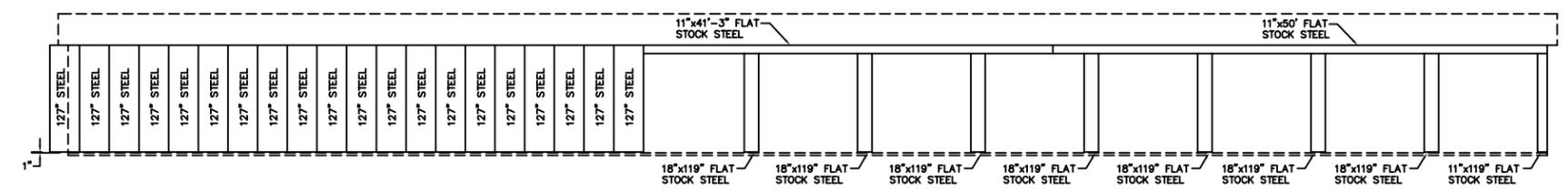


149'-6 1/2" EAST SIDEWALL Δ

ELEVATIONS
SCALE: 1/8"=1'-0"

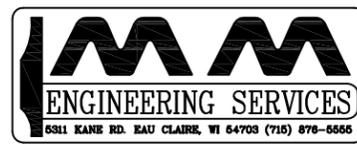


149'-6 1/2" WEST SIDEWALL Δ



149'-6 1/2" EAST SIDEWALL Δ

STEEL LAYOUTS
SCALE: 1/8"=1'-0"



PROJECT TITLE:
MINIMAX STORAGE
MENASHA, WI

SHEET TITLE:
ELEVATIONS & STEEL LAYOUTS

REVISIONS		
NO.	DATE	DESCRIPTION
1	5-08-11	SHORTEN BUILDING 11'-6 1/2"
2		
3		
4		

PROFESSIONAL ENGINEER:
JEFF MURRAY

PLAN DESIGNER:
JEFF MURRAY

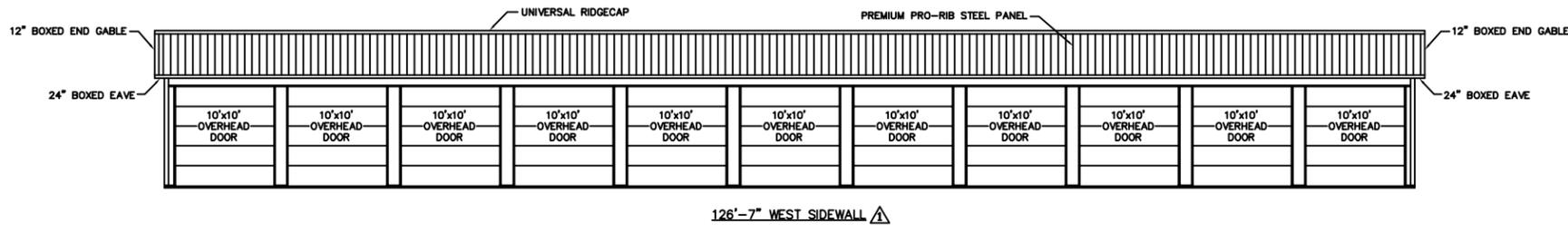
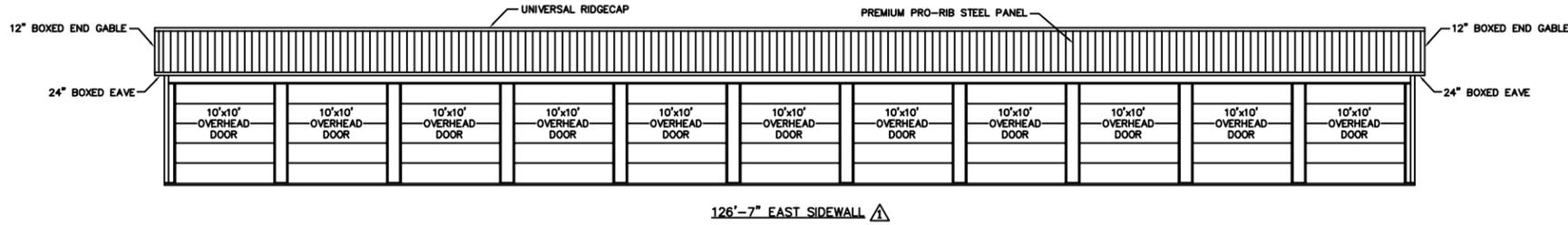
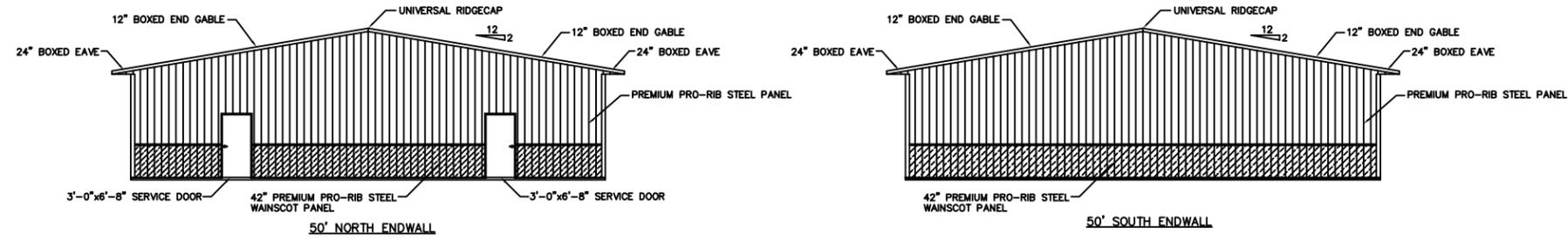
DRAWN BY:
LANCE NIELSEN

FILE NAME:
M08711W102R

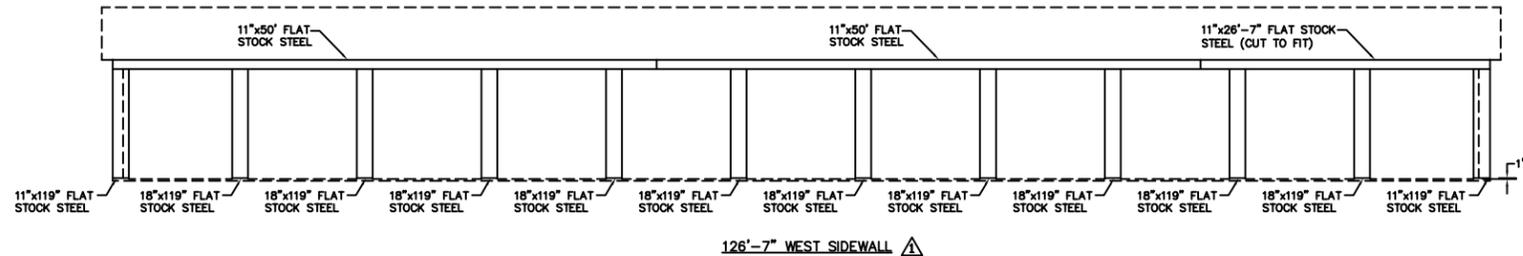
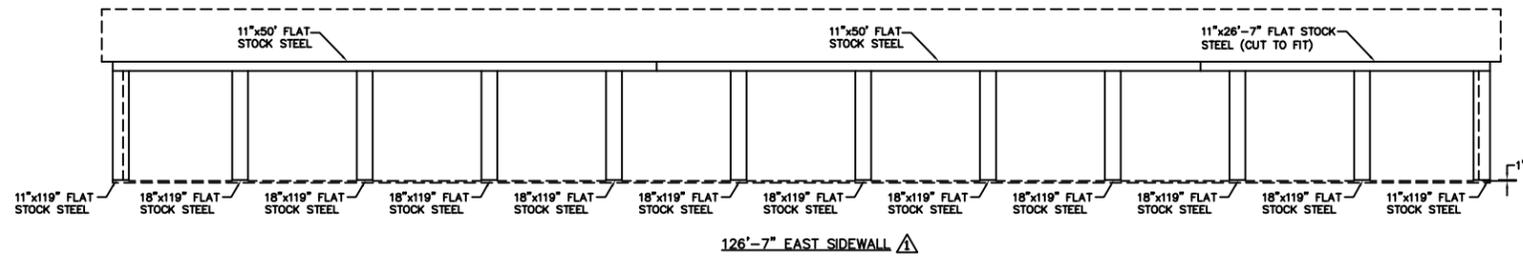
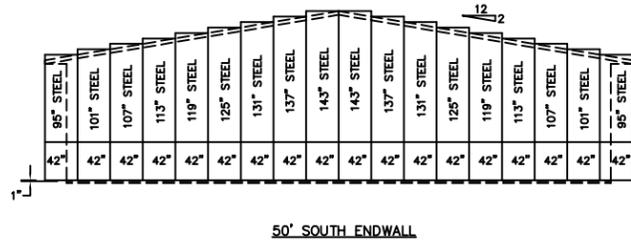
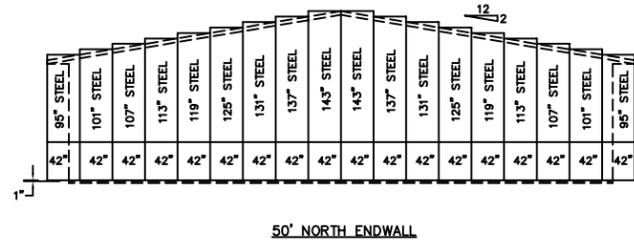
DATE:
04-12-11

SCALE:
AS NOTED

SHEET NO.
2
OF **7**



ELEVATIONS
SCALE: 1/8"=1'-0"



STEEL LAYOUTS
SCALE: 1/8"=1'-0"

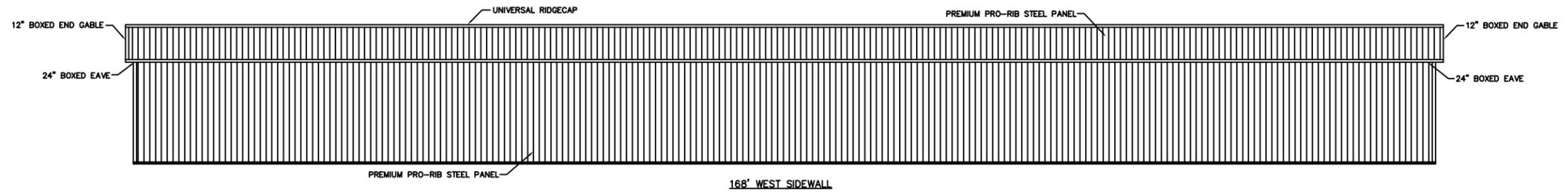
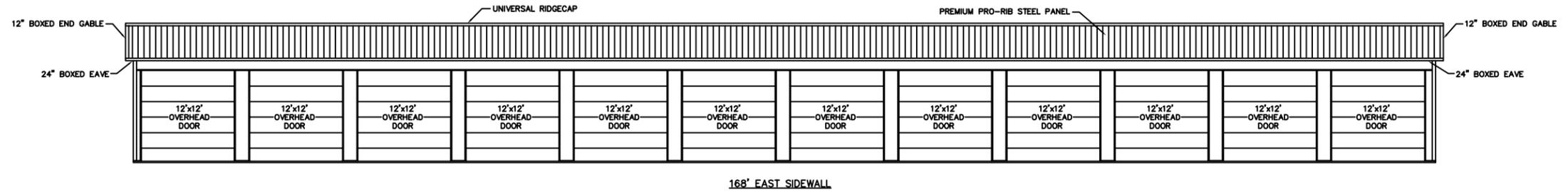
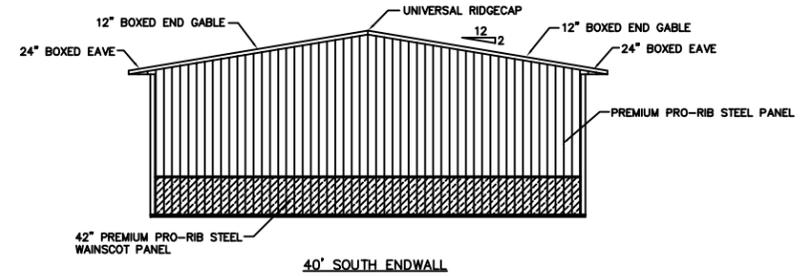
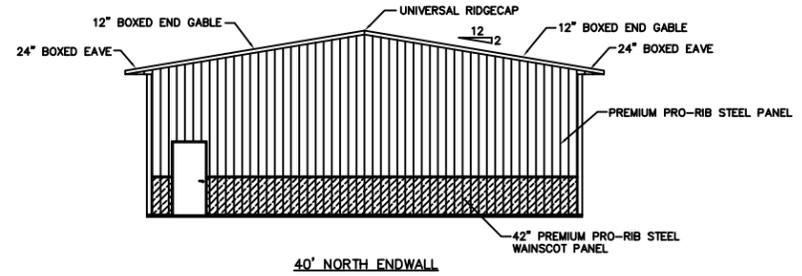


PROJECT TITLE:	MINIMAX STORAGE MENASHA, WI
SHEET TITLE:	ELEVATIONS & STEEL LAYOUTS

REVISIONS		
NO.	DATE	DESCRIPTION
1	5-08-11	SHORTEN BUILDING 23'-11"
2		
3		
4		

PROFESSIONAL ENGINEER:	JEFF MURRAY	FILE NAME:	M08811W102R
PLAN DESIGNER:	JEFF MURRAY	DATE:	04-14-11
DRAWN BY:	LANCE NIELSEN	SCALE:	AS NOTED

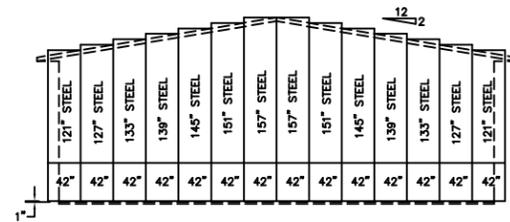
SHEET NO. **2**
OF **7**



168' EAST SIDEWALL

168' WEST SIDEWALL

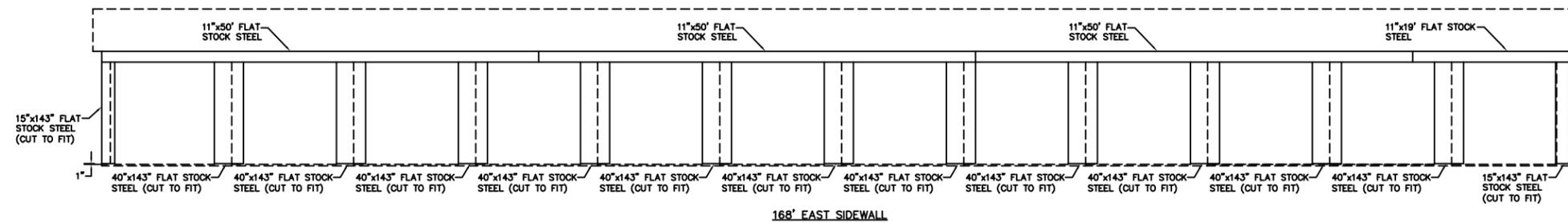
ELEVATIONS
SCALE: 1/8"=1'-0"



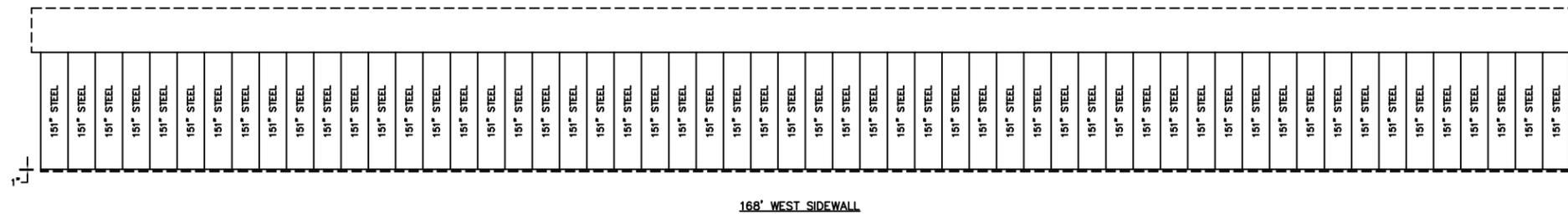
40' NORTH ENDWALL



40' SOUTH ENDWALL



168' EAST SIDEWALL



168' WEST SIDEWALL

STEEL LAYOUTS
SCALE: 1/8"=1'-0"



PROJECT TITLE:
MINIMAX STORAGE
MENASHA, WI

SHEET TITLE:
ELEVATIONS & STEEL LAYOUTS

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

PROFESSIONAL ENGINEER:
JEFF MURRAY

PLAN DESIGNER:
JEFF MURRAY

DRAWN BY:
LANCE NIELSEN

FILE NAME:
M08911WI02

DATE:
04-15-11

SCALE:
AS NOTED

SHEET NO.
2
OF **7**



SPEED
LIMIT
5

ORDINANCE O-__-11
AN ORDINANCE RELATING TO PAVING OF DRIVEWAYS AND PARKING LOTS

Introduced by Aldermen Taylor and Zelinski.

The Common Council of the City of Menasha does hereby ordain as follows:

SECTION 1: Amend Title 13, ARTICLE E, SEC.13-1-51(b)(1) and (2) of the Code of Ordinances of the City of Menasha, Wisconsin as follows:

Title 13 - Zoning

ARTICLE E

Traffic Visibility, Loading, Parking and Access

SEC. 13-1-51 OFF-STREET PARKING.

- (b) **DISTRICT REGULATIONS.** The following regulations shall be applied to each of the described zoning districts:
- (1) R-1, R-1A, R-2 and R-2 A Districts

...

- e. All driveways, parking areas, and driveway aprons constructed after _____ 2011 shall be surfaced with asphalt, concrete, brick, or other durable dust-free material acceptable to the Department of Public Works. Driveways and parking areas shall be installed in compliance with the minimum standards set forth in the City of Menasha Driveway Installation Policy as approved by the Common Council. This requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
- f. On parcels with newly constructed one and two family residential structures, such surfacing shall be completed within nine (9) months of receiving an occupancy permit for the dwelling unit(s). Driveway aprons shall be paved within nine (9) months of installation of the permanent street.
- g. A Driveway Permit from the Department of Community Development and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway in relation to all property lines, structures, service walks, sidewalks, and street rights of way along

with specifications showing proposed materials and cross sectional dimensions.

h. An Excavation Permit from the Department of Public Works shall be required prior to installation of any driveway apron per Sec. 6-2-3.

(2) R-3, R-4, C-1, C-2, C-3, C-4, I-1, I-2, and GU Districts

a. *General Parking Standards*

1. All driveways, parking areas, and driveway aprons shall be surfaced with asphalt, concrete, brick, or other durable dust-free material acceptable to the Department of Public Works in compliance with the minimum standards set forth in this Section.

(a) For new driveways, parking areas, and driveway aprons, such surfacing shall be completed within nine (9) months of site plan or parking lot plan approval or in accordance with the timeline established in the Site Improvement Agreement on file with the Community Development Department. Driveway aprons shall be paved within nine (9) months of installation of the permanent street. If a site plan review is not required, a parking lot plan shall be submitted and approved in accordance with Sec. 13-1-51(b)(2)b prior to surfacing.

(b) For properties with existing driveways, parking areas, and driveway aprons that are not surfaced with a durable dust-free material, such surfacing shall be completed prior to the sale of the property or within nine (9) months of sale of the property or, when applicable, in accordance with the timeline established in the Site Improvement Agreement on file with the Community Development Department. For properties without an approved site plan and/or Site Improvement Agreement, a parking lot plan shall be submitted in accordance with Sec. 13-1-51(b)(2)b prior to surfacing. Areas to be surfaced shall comply with all applicable zoning requirements.

...

b. *Parking Approval for changes to existing developed sites.* For existing parking lots and driveways, any change in parking configuration, flow of traffic, parking lot size, or reestablishment of parking on a non-conforming lot, shall require prior approval and a Parking Lot Permit. Parking lot plans shall be designed in conformance with the design standards in 13-1-51. Parking lots and driveways to be resurfaced shall be brought into compliance with all applicable zoning requirements. The procedure to obtain parking lot approval for existing developed sites shall be:

...

4. If the Zoning Administrator and/or designee determines that an existing non-conforming parking lot and/or driveway cannot be brought into compliance with applicable requirements due to physical constraints of the site, the parking lot plan may be reviewed through application for a Special Use Permit pursuant to Sec. 13-1-11; however, such resurfacing may not increase the degree of nonconformity of the property.

City of Menasha Driveway Installation Policy

1. This Driveway Installation Policy has been adopted by the Common Council as a supplement to Section 13-1-51(b)(1) of the Municipal Code and applies to R-1, R-1A, R-2, and R-2A zoning districts. It is intended to assist with interpretation and application of the section but may not cover all situations encountered.
2. A Driveway Permit and Zoning Permit from the Building Inspection Office and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway or parking area in relation to all property lines, structures, service walks, sidewalks, and street rights of way along with specifications showing the proposed materials and cross sectional dimensions.
3. The following standards shall apply:
 - a. All driveways, driveway extensions, parking areas, and driveway aprons constructed after _____ 2011 shall be surfaced ("paved") with a durable dust-free material acceptable to the Department of Public Works. Alternative materials shall be approved prior to installation by the Director of Public Works as part of the Driveway Permit application. This paving requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
 - b. Approved paving materials include concrete, asphalt, brick, and similar durable, dust free materials acceptable to the Department of Public Works. Durable, dust free pervious paving materials specifically designed to reduce stormwater runoff are encouraged and may be utilized upon approval by the Director of Public Works.
 - c. The minimum width of any paved driveway or parking area shall be nine (9) feet. If a property does not have a garage, carport, or rear yard parking area, the property owner shall be required to have a minimum area of 320 square feet of paved area per dwelling unit. The minimum paved area shall be adjacent to the driveway apron.
 - d. The following minimum installation standards shall apply:
 - Concrete shall be finished to a minimum thickness of 4" and installed on a minimum 4" base of ¾" crushed aggregate;
 - Asphalt shall be finished to a minimum thickness of 2 ½" and installed on a minimum 6" base of ¾" crushed aggregate;
 - Paving bricks shall be no less than 2 ¼" thick and installed on a minimum 4" base of approved granular material.

- Similar durable, dust-free materials approved by the Department of Public Works shall be installed in a manner that is consistent with professional installation standards.
- e. The following restrictions apply to the front yard area:
- In no case shall a driveway or parking area be widened to extend in front of the dwelling for parking or driving purposes.
 - Paved pedestrian walkways in the front yard that are immediately adjacent to a driveway and lead to an entry or service door may be approved by the Zoning Administrator and/or designee at the time of permit application. Such walkways may not be utilized for parking or driving purposes.
 - Pavers and similar decorative surfaces installed in the front yard as landscaping or aesthetic amenities shall not be used for parking or driving purposes.
4. Any other areas beyond the minimum requirements that are used for parking or driving purposes must either be paved according to the standards above or converted to a grass/lawn surface by completely removing any gravel or non-conforming driveway surface and installing a minimum of 2" of topsoil prior to seeding.
5. If a driveway is to be completely removed, the driveway apron shall also be completely removed and the area restored to grass/lawn area as stated above and the full curb section reinstalled. Replacing the curb requires an Excavation Permit and must be performed in accordance with City specifications.
6. Repairs to existing hard surfaced driveways shall be made with materials of the same type as the existing hard surface unless the entire driveway is being replaced.
7. Extent of Surfacing Requirements:
- a. All driveway aprons shall be paved in accordance with City specifications.
 - b. When a garage is present, the entire length of driveway from the street right of way to the face of the garage must be paved.
 - c. When a carport is present, the entire length of the driveway from the street right of way along with the base of the carport must be paved.
 - d. When no garage or carport is present, any portion of the driveway or parking area that falls within the front and/or side yards of the property and any portion leading to and including a rear parking area must be paved.
 - e. On properties with existing unique physical or structural characteristics that are not addressed herein, the Zoning Administrator and/or designee shall make the final determination regarding the extent of required surfacing.