

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA  
PLAN COMMISSION  
Council Chambers  
140 Main Street, Menasha**

**April 14, 2015  
3:30 PM**

**AMENDED AGENDA**

*3:30 PM – Informal Public Hearing Regarding the Proposed Amendment to Title 13 of the Menasha Code of Ordinances pertaining to Permitted Uses and Parking Requirements to PUD (Planned Unit Development) District*

*3:35 PM – Informal Public Hearing on the Proposed Rezoning Regarding the Following Proposed Actions:*

- *Rezoning of the properties in proximity to 165 Main Street, which includes Parcel Numbers 3-00818-00, 3-00818-01, 3-00820-00, 3-00816-01, and 3-00817-01 from C-2 Central Business District to Planned Unit Development (PUD)*
- *Amending the Planned Unit Development District (PUD) Plan for Parcel Number 3-00798-00 and 3-00790-00 adjacent to Marina Place*

**CALL TO ORDER**

**A. ROLL CALL/EXCUSED ABSENCES**

**B. MINUTES TO APPROVE**

1. [Minutes of the April 7, 2015 Plan Commission Meeting](#)

**C. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA**

Five (5) minute time limit for each person

**D. DISCUSSION**

- 1.

**E. ACTION ITEMS**

1. [Certified Survey Map – Winnebago Avenue](#)
2. [Amendment to Planned Unit Development \(PUD\) Ordinance](#)
3. [Rezoning of Parcels \(including Site Plan Review\) from C-2 Central Business District to Planned Unit Development \(PUD\) and Amendment to PUD Plan](#)
4. **Sale/Transfer of City Owned Property – Marian Place Parking Lot**
5. **Ground Lease of City Owned Property – Broad Street Parking Lot (part)**
6. **Site Plan Review – Broad Street Parking Lot – Multi-level Parking Structure**
7. **Temporary Use of City Owned Property for Construction Staging and Contractor Parking**

**F. ADJOURNMENT**

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

**CITY OF MENASHA**  
**Plan Commission**  
**Council Chambers, City Hall – 140 Main Street**  
**April 7, 2015**  
**DRAFT MINUTES**

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**A. CALL TO ORDER**

The meeting was called to order at 3:30 PM by Mayor Merkes.

**B. ROLL CALL/EXCUSED ABSENCES**

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Ald. Benner, DPW Radtke and Commissioners Sturm, DeCoster and Schmidt.

PLAN COMMISSION MEMBERS EXCUSED: Comm. Cruickshank

OTHERS PRESENT: CDD Keil, CDC Heim, Jim Stahl, Miron Construction, Steve Borsenik, Gries Architectural, Dave Mix, VFW Post 2126, Carl and Ilene Anderson, 1831 Northridge Court, Steve Radich, Gold Cross Ambulance, Steve Grenell and Lisa Miotke, Menasha Utilities.

**3:30 PM - Informal Public Hearing Regarding the Proposed Rezoning of Vacant Parcel Immediately East of 1233 Midway Road – Parcel #6-01635-00**

Mayor Merkes opened the public hearing at 3:31 PM.

CDD Keil gave a review of the Kwik Trip development and parcel history. Purpose of the rezoning is to become consistent with the zoning classification with the other parcels purchased by Kwik Trip.

No one else spoke.

The hearing was closed at 3:32 PM.

**3:35 PM – Informal Public Hearing Regarding the Proposed Rezoning of Parcel Immediately North of 1737 Racine Road – Parcel #4-00762-03**

Mayor Merkes opened the public hearing at 3:33 PM.

CDD Keil gave previous rezoning and parcel history.

Carl Anderson, 1831 Northridge Court, asked for verification of what the lot would be used for.

CDD Keil explained the proposed use by Miron Construction as a storage yard and addressed surfacing of the area, buffer zone and frontage for neighboring properties.

No one else spoke.

The hearing was closed at 3:38 PM.

**C. MINUTES TO APPROVE**

1. **Minutes of the March 17, 2015 Plan Commission Meeting**

Motion by DPW Radtke, seconded by Ald. Benner to approve the March 17, 2015 Plan Commission meeting minutes. The motion carried.

**D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA**

1. No one spoke.

## E. DISCUSSION

### 1. **Lighting Standards for Residential Properties**

CDD Keil explained he has drafted some language for the Police Department to review; will bring it back to Plan Commission once that review has taken place.

### 2. **April 14, 2015 Meeting Quorum**

Commissioners discussed the agenda items and time sensitivity of the meeting. There was consensus to schedule the meeting pending receiving of all necessary materials in ample time to allow commissioners to review.

## F. ACTION ITEMS

### 1. **Proposed Rezoning of Vacant Parcel Immediately East of 1233 Midway Road – Parcel #6-01635-00**

Motion by Ald. Benner, seconded by Comm. DeCoster to recommend the proposed rezoning of vacant parcel immediately east of 1233 Midway Road, Parcel #6-01635-00 from C-3 Business and Office District to C-4 Business Park District. The motion carried.

### 2. **Proposed Rezoning of Parcel Immediately North of 1737 Racine Road – Parcel #4-00762-03**

CDD Keil reported that conditional zoning on parcels cannot be done. Rezoning of the parcel would be a continuation of the industrial zoning on surrounding properties and that deed restrictions will be applied to ensure sufficient buffering for the commercial property to the north and the residential properties to the west.

Commissioners discussed the following:

- Timing of the rezoning in relationship to amending the comprehensive plan
- Restrictive covenants to address the buffering of parcels to the north and west was well as taking into account the restrictions of planting material allowed under the high voltage wires and site lines for the driveway access on to CTH P.
- Fencing

Ald. Benner requested that the recommendation of the rezoning be held until the amendment of the comprehensive plan is brought to the commission. This would allow a landscape plan and site plan to be brought to the commission for review. It was recommended that the amendment of the Comprehensive Plan continue. No further action was taken.

### 3. **Site Plan Amendment – 600 Racine Street, Additional Parking and Stormwater Management Facilities**

CDD Keil reported that the site plan meets requirements relating to the addition of the parking lot to the north, lighting, landscape and fencing on the north side be consistent with the height requirement of 4' 6" within the 20' right-of-way. The stormwater calculations have been submitted to the Public Works department for review.

Commissioners discussed the following:

- Fencing height and materials
- Number of entrances off Racine Street
- Landscape materials
- Lighting

Motion by Ald. Benner, seconded by Comm. Sturm to approve the amended site plan for 600 Racine Street for the additional parking and stormwater management facilities with the following conditions: lighting be brought to compliance, tapering of the fence within the 20' right-of-way, remove some of the maple trees and bring in two additional species of trees and approval of the stormwater calculations by Public Works. The motion carried.

### 4. **Proposed Street Name Change – Province Link**

Mayor Merkes indicated that a proposed street name change to Province Link would be to promote and honor the first Menasha High School football state championship. School district members along with the football coach and team members were approached with the idea.

The two ideas for the street name change were Korth Pass and Championship Lane.

Commissioners discussed the following:

- Association with school and this location
- 
- Other streets that would be closer to school or stadium
- Effect on residents living on a street if a name change occurs
- Honorary street sign instead of changing a street name

The consensus of the commission was to research the topic and bring it back for consideration. No further action was taken.

5. **Relocation of Veterans Memorial from Menasha Public Library to Isle of Valor, Smith Park – Recommendation from Parks and Recreation Board**

Dave Mix, Veterans of Foreign Wars, presented the site plan for the relocation of the Veterans Memorial. Mr. Mix informed commissioners that the VFW Post 2126 has worked with the Library Board as well as the Park Board on this project. The area will be handicapped accessible and allow for veterans bricks to be placed in front of the memorial and purchased bricks to be placed behind the memorial. Mr. Mix also explained that a Historical Marker will be placed on the Isle of Valor by the Wisconsin Historical Society. Once the Letter of Understanding is signed, it will be brought to the city.

Motion by Comm. Sturm, seconded by Ald. Benner to recommend the relocation of Veterans Memorial from Menasha Public Library to Isle of Valor consistent with the recommendation from Park Board. The motion carried.

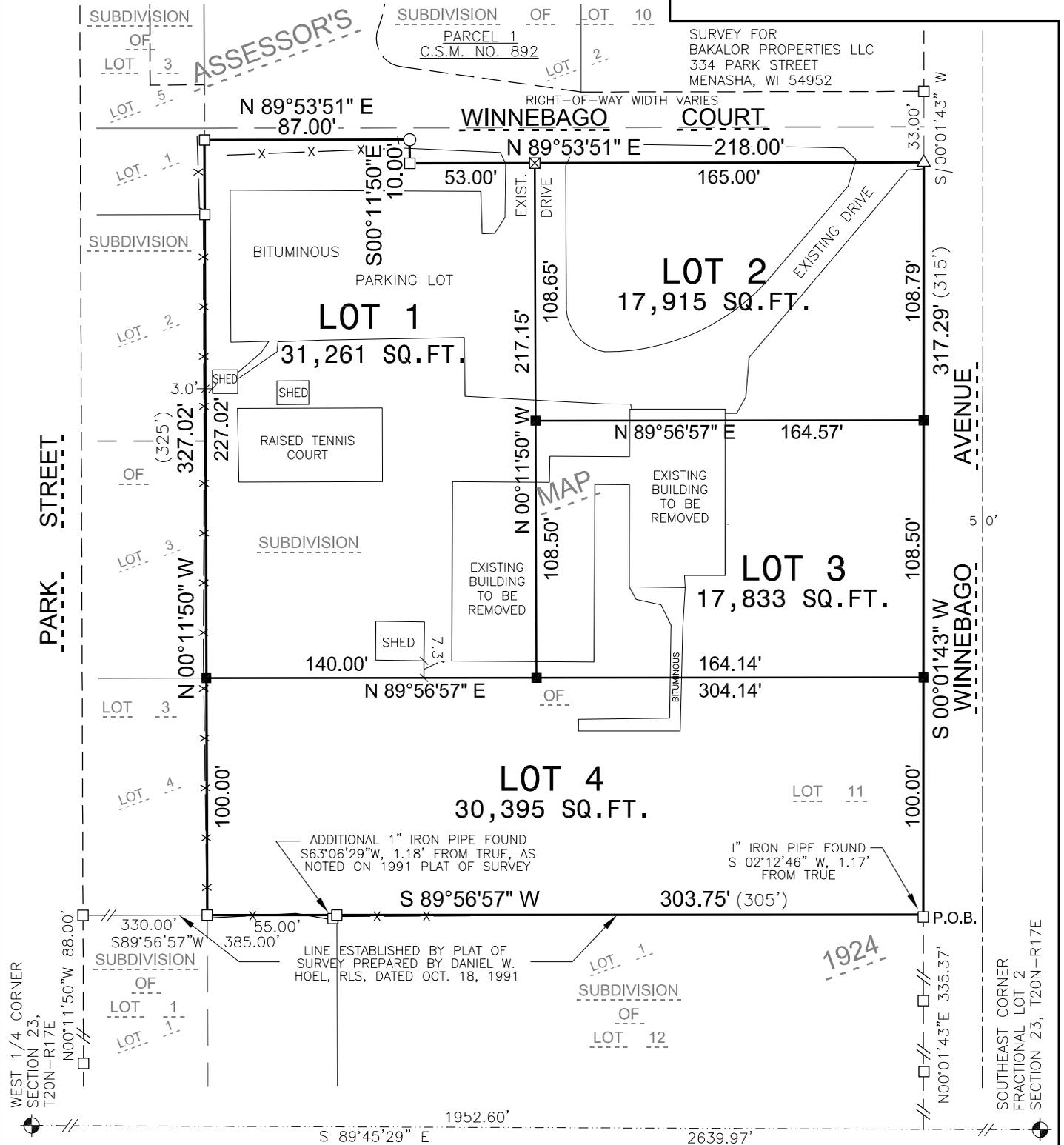
## H. **ADJOURNMENT**

Motion by Ald. Benner, seconded by Comm. DeCoster, to adjourn at 4:40 PM. The motion carried.

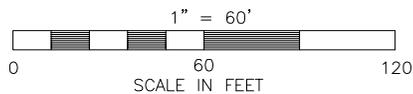
*Minutes respectfully submitted by CDC Heim.*

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

PART OF LOT 11 OF SUBDIVISION OF FRACTIONAL LOT 2 PER CITY OF MENASHA ASSESSOR'S MAP 1924, LOCATED IN FRACTIONAL LOT 2 OF SECTION 23, TOWNSHIP 20 NORTH, RANGE 17 EAST, IN THE THIRD WARD, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



BEARINGS ARE REFERENCED TO THE WINNEBAGO COUNTY COORDINATE SYSTEM, IN WHICH THE SOUTH LINE OF FRACTIONAL LOTS 2 AND 3, SECTION 23, BEARS S 89°45'29" E



LEGEND

- 1" O.D. IRON PIPE SET, 18" LONG, WEIGHING 1.130 LBS. PER LIN. FOOT
- ⊠ P.K. NAIL SET
- 1" O.D. IRON PIPE FOUND
- △ RAILROAD SPIKE FOUND
- 3/4" O.D. REBAR FOUND
- ⊕ GOVERNMENT CORNER ALUMINUM COUNTY MONUMENT FOUND
- P.O.B. POINT OF BEGINNING

Martenson & Eisele, Inc.



1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381

Planning  
Environmental  
Surveying  
Engineering  
Architecture

PROJECT NO. 1-0530-002  
FILE 1-0530-002 SHEET 1 OF 3  
THIS INSTRUMENT WAS DRAFTED BY: A.Sedlar

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

**SURVEYOR'S CERTIFICATE:**

I, GARY A. ZHRINGER, LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, MAPPED AND DIVIDED AT THE DIRECTION OF THE BAKALOR PROPERTIES, LLC, PART OF LOT 11 OF SUBDIVISION OF FRACTIONAL LOT 2 PER CITY OF MENASHA ASSESSOR'S MAP 1924, LOCATED IN FRACTIONAL LOT 2 OF SECTION 23, TOWNSHIP 20 NORTH, RANGE 17 EAST, IN THE THIRD WARD, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 23; SOUTH 89 DEGREES 45 MINUTES 29 SECONDS EAST, ALONG THE SOUTH LINE OF FRACTIONAL LOTS 2 AND 3 OF SAID SECTION, A DISTANCE OF 1952.60 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 43 SECONDS EAST, A DISTANCE OF 335.37 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 56 MINUTES 57 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SUBDIVISION OF LOT 11, A DISTANCE OF 303.75 FEET; THENCE NORTH 00 DEGREES 11 MINUTES 50 SECONDS WEST, ALONG THE WEST LINE OF SAID SUBDIVISION OF LOT 11, A DISTANCE OF 327.02 FEET; THENCE NORTH 89 DEGREES 53 MINUTES 51 SECONDS EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF WINNEBAGO COURT, A DISTANCE OF 87.00 FEET; THENCE SOUTH 00 DEGREES 11 MINUTES 50 SECONDS EAST, CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF WINNEBAGO COURT, A DISTANCE OF 10.00 FEET; THENCE NORTH 89 DEGREES 53 MINUTES 51 SECONDS EAST, CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF WINNEBAGO COURT, A DISTANCE OF 218.00 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 43 SECONDS WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF WINNEBAGO AVENUE, A DISTANCE OF 317.29 FEET TO THE POINT OF BEGINNING. CONTAINING 97,404 SQUARE FEET [2.236 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE FULLY COMPLIED WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND WITH THE CITY OF MENASHA SUBDIVISION ORDINANCE IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

THAT THIS MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

GIVEN UNDER MY HAND THIS 7TH DAY OF APRIL, 2015.

\_\_\_\_\_  
GARY A. ZHRINGER, PROFESSIONAL WI LAND SURVEYOR S-2098

**THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENTS**

OWNERS OF RECORD:  
BAKALOR PROPERTIES, LLC

RECORDING INFORMATION:  
DOCUMENT NO. 1670810

PARCEL NUMBER:  
3-00070-00

**COMMON COUNCIL RESOLUTION:**

RESOLVED BY THE COMMON COUNCIL OF THE CITY OF MENASHA, THAT THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY CLERK

**TREASURER'S CERTIFICATE:**

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS SHOWN HEREON.

\_\_\_\_\_  
CITY TREASURER

\_\_\_\_\_  
DATE



## SEC. 13-1-33 PUD (PLANNED UNIT DEVELOPMENT) DISTRICT.

- (a) **INTENT.** It is the intent of the City of Menasha that planned development be encouraged for those areas of the community now developed **or undergoing redevelopment**, and in those areas which, in time, would be annexed to the City. More specifically, it is the intent to:
- (1) Promote and permit flexibility that will encourage a more creative and imaginative approach in development and result in a more efficient, aesthetic, desirable and economical use of land, while maintaining intensity of use consistent with the adopted comprehensive plan.
  - 2) Provide minimal effect upon adjacent properties and existing development. To this end, the Plan Commission may make appropriate requirements.
  - (3) Promote development that can be conveniently, efficiently and economically served by existing municipal utilities and services or by their logical extension.
  - (4) Promote flexibility in design, placement of buildings and use of open space, pedestrian and vehicular circulation facilities and off-street parking areas in a manner that will best utilize the potential of sites characterized by special features of geography, geology, topography, size or shape.
  - (5) Provide, where it is shown to be in the public interest, for the preservation of historical features and such natural features as streams, drainage ways, floodplains, ponds, lakes, topography, rock outcroppings, unique areas of vegetation, stands of trees and other similar natural assets.
  - (6) Provide for more adequate recreational facilities and other public and common facilities than would otherwise be provided under conventional land development.
  - (7) Provide for the enhancement of the natural setting through careful and sensitive placement of man-made facilities and plant materials

**STANDARDS.** Even though PUD's purpose is to permit flexibility of design, certain standards must be applied to insure compatibility of the project with the intent of this Chapter. These standards are:

- (1) Permitted Uses. **Uses eligible for inclusion in the PUD include any use listed as a permitted use or special use in the zoning district that the subject property (ies) was (were) located within immediately prior to the requested zoning classification change to PUD.** ~~Normal permitted uses are those of a residential character including single family (detached or attached), two (2) family and/or multiple family dwellings, churches and the usual accessory buildings, such as garages, storage space, maintenance structures and buildings for recreational purposes. Commercial uses, limited to those specifically approved by the Common Council, are permitted, provided that such uses are primarily for the service and convenience of the residents of the development. Such commercial uses are encouraged to be located within residential buildings. However, if such uses are proposed to be contained with a separate freestanding structure:~~
  - ~~a. They must be so designed to reflect the residential character of the development; and~~
  - ~~b. They may contain an identification sign of no more than four (4) sq. ft., placed flush on one (1) wall and generally not observable from the periphery of the development.~~
- (2) Harmony With Surrounding Uses: The uses and designed of **the** PUD will be harmonious with the character or the surrounding area in terms of density, intensity

of use, size and heights of buildings, architecture and other impacts.

- (3) Tract. Size. The minimum size tract for a PUD is one (1) acre.
- (4) Parking. All parking ~~must meet~~ shall generally comply with the requirements as set forth in Article E. Any variation from these requirements shall be noted on the PUD plan and any subsequent approval thereof. Parking lot design consideration shall be as follows:
  - a. Parking areas shall be treated as an integral part of the development in scale, location and character;
  - b. Parking areas shall be so arranged to discourage through traffic;
  - c. As appropriate, parking areas shall be screened from adjacent structures and streets with hedges, plantings, fences, earth berms, changes in grade and/or other similar examples; and
  - d. Parking areas shall be so designed to allow for drainage of surface water without erosion, flooding and other inconveniences.
- ~~(5) Harmony With Surrounding Uses: The uses and designed of PUD will be harmonious with the character or the surrounding area in terms of density, intensity of use, size and heights of buildings, architecture and other impacts.~~
- (5) Open Space. A major portion of any PUD is its open space. The desirability is closely tied to the integration of open space with the total development. The intent statement of this Section sets forth the overall objective desired for PUDs. Therefore, no quantitative standards are stated in this Section. Quality standards acknowledge the separate and multiple functions of open space: active recreation, passive recreation and preservation of natural site amenities. In designing the PUD, consideration shall be given to such functions.
- (6) Shoreland Setbacks.
  - a) For parcels annexed to the City of Menasha after May 7, 1982 the following standards shall apply:
    - 1) Shoreland setback area for a principal building - 50 feet as measured from the ordinary high water mark, except that a principal structure may be constructed or placed within the shoreland setback area if all of the following apply:
      - a) The principal building is constructed or placed on a lot or parcel of land that is immediately adjacent on each side to a lot or parcel of land containing a principal building.
      - b) The principal building is constructed or placed within a distance equal to the average setback of the principal building on the adjacent lots or 35 feet from the ordinary high-water mark, whichever distance is greater.
- (d) **DESIGNATION OF THE PUD DISTRICT**. If the Common Council approves the PUD plan, then the land may be designated as a PUD District in accordance with the rezoning procedures described in this Code. Thereafter, building permits may be issued in accordance with the approved PUD plan.
- (e) **CHANGES IN APPROVED PLAN**. Changes of a minor nature may be approved by the Department of Community Development. However, any proposed change of major consequence may only be authorized by the Common Council upon recommendation by the Plan Commission. Major changes shall include:
  - (1) Non-conformance to the original approved overall statement of intent;
  - (2) Any increase in density, numbers and/or types of dwelling units; and
  - (3) Any change in maximum height or change in location of structures or buildings.If any proposed change is questionable, whether it is of major or minor consequence, such

determination shall be made by the Common Council. A PUD plan runs with the land and is binding on any and all interested parties from and after the time a PUD is approved.

- (f) **GUARANTEE OF COMPLETION.** At the time of final approval of the PUD plan, the Plan Commission may require a contract, with safeguards satisfactory to the City Attorney, guaranteeing completion of the development prior to a present date. If the development is to be constructed in stages, the Plan Commission may require a contract, with safeguards satisfactory to the City Attorney, guaranteeing completion of any stage; such contract shall be signed prior to the issuance of building permits for any stage. The Plan Commission shall notify the developer in writing, prior to preliminary plan approval of the Commission's intention to require a guarantee of completion for any stage.

# City of Menasha

## SPECIAL ZONING APPROVAL

Owner Menasha Downtown Development, LLC.

Case or Plan No. N/A

Address One Neenah Center, Suite 700

Fee \$ 350.00

Applicant (if different than Owner) \_\_\_\_\_

Address \_\_\_\_\_

Zoning C2

Parcel Number(s) 3-00820-00 & 3-00818-00, 3-00818-01, 3-00816-01, 3-00817-01, 3-00798-00, 3-00790-00.

PLEASE INDICATE WHICH REQUEST IS BEING MADE

Rezoning

Special Use

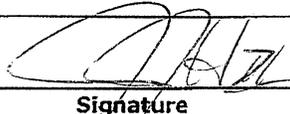
Flood Plain Map  
Amendment

Appeal or Variance

PUD Plan Approval

Description of Request: Rezone parcels from current C2 to PUD to enable the construction of a new 8 story office building and associated parking ramp. and ~~re~~ amend Planned Unit Development on parcels 3-00798-00 and 3-00790-00.

Owner/Agent \_\_\_\_\_

  
Signature

BJ. J. HOBERTX, II. Attorney  
Menasha

(If applicable)

Formal Hearing 4/21/2015

Informal Hearing 4-14-2015

Notice Mailed 4-9-2015

Notice Mailed 4-9-2015

Notice Mailed \_\_\_\_\_

Action Taken: \_\_\_\_\_ 20\_\_\_\_

APPROVED

DENIED

Conditions (if any): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



April 9, 2015

Dear Property Owner:

The City of Menasha will be holding public hearings regarding the following proposed actions:

- Rezoning of the properties in proximity to 165 Main Street, which includes Parcel Numbers 3-00818-00, 3-00818-01, 3-00820-00, 3-00816-01, and 3-00817-01 from C-2 Central Business District to Planned Unit Development (PUD)
- Amending the Planned Unit Development District (PUD) Plan for Parcel Number 3-00798-00 and 3-00790-00 adjacent to Marina Place.

You are being notified of these proposed actions in accordance with Section 13-1-142 of the Menasha Code of Ordinances. These changes are proposed to enable the construction of a new eight story office building and associated parking.

Please see the enclosed map and public hearing notice for more information.

The Plan Commission will be considering this rezoning at an informal public hearing on Tuesday, April 14, 2015 at 3:30 p.m. or shortly thereafter in the Third Floor Council Chambers of City Hall, 140 Main Street. Persons interested in this matter will be given an opportunity to comment and ask questions about the proposed rezoning. A second public hearing before the Common Council will be held Tuesday, April 21, 2015 at 6:00 p.m. or shortly thereafter in the Council Chambers of City Hall, 140 Main Street.

Sincerely,

Kristi Heim  
Community Development Coordinator

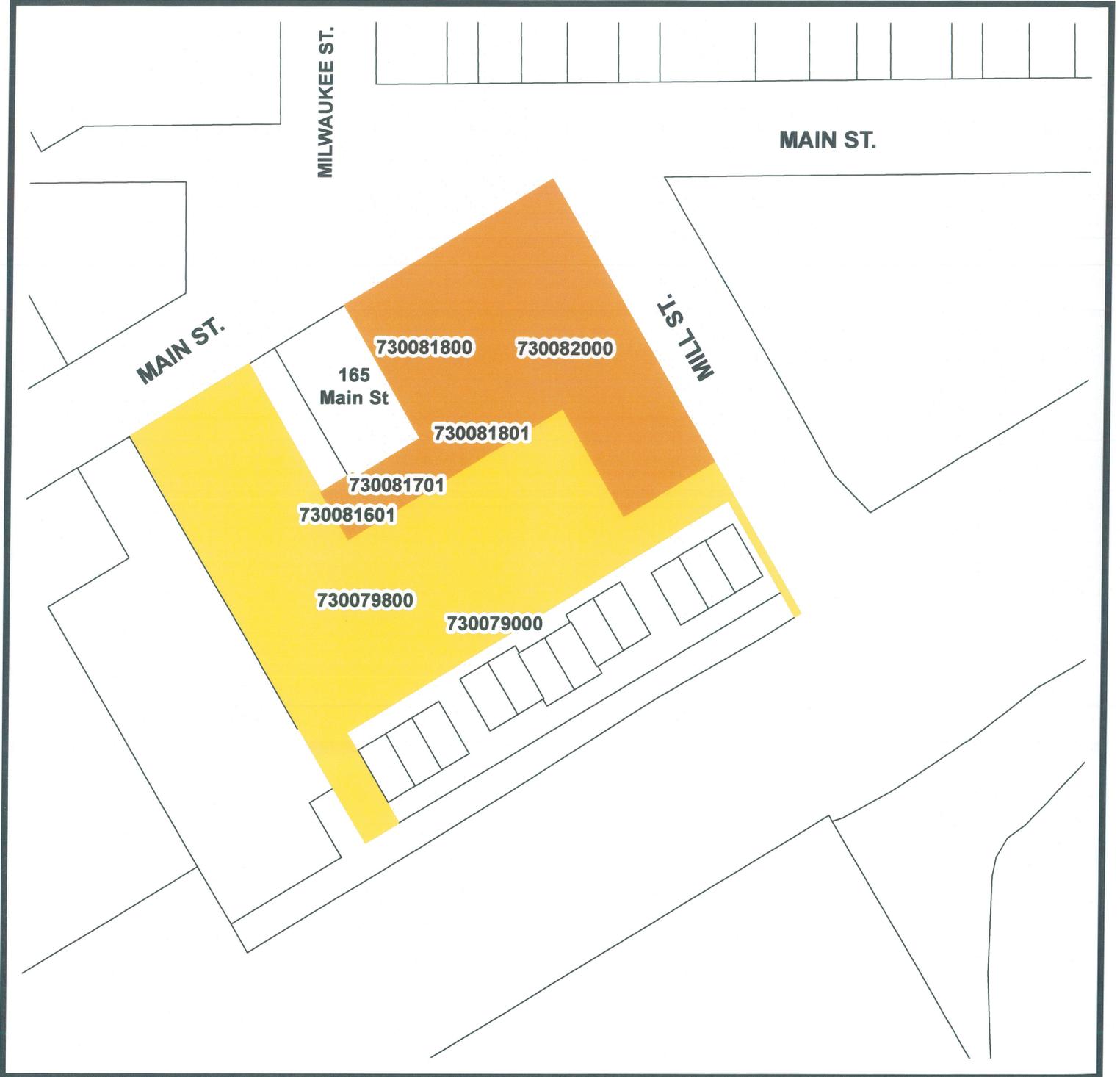
Enclosures

c: City of Menasha Clerk Deborah Galeazzi  
Plan Commissioners

# Proposed Rezoning

C-2 to Planned Unit Development  
Parcel #3-00818-00, 3-00818-01  
3-00820-00, 3-00816-01  
and 3-00817-01

Amend Planned Unit Development  
Parcel #3-00798-00 and 3-00790-00



## Legend

-  C-2 Central Business District to Planned Unit Development
-  Amend Planned Unit Development



CITY OF MENASHA  
Public Hearing

NOTICE IS HEREBY GIVEN that the City of Menasha Plan Commission and Common Council will hold public hearings regarding the following proposed actions: Rezoning of the properties in proximity to 165 Main Street, which includes Parcel Numbers 3-00818-00, 3-00818-01, 3-00820-00, 3-00816-01, and 3-00817-01 from C-2 Central Business District to Planned Unit Development (PUD) and Amending the Planned Unit Development District (PUD) Plan for Parcel Number 3-00798-00 and 3-00790-00 adjacent to Marina Place. The requested is to enable the construction of a new eight story office building and associated parking.

**Plan Commission**

Date of Hearings: Tuesday, April 14, 2015

Time of Hearings: 3:30 p.m. or shortly thereafter

Place of Hearings: City Hall Council Chambers, 140 Main Street, Menasha

**Common Council**

Date of Hearings: Tuesday, April 21, 2015

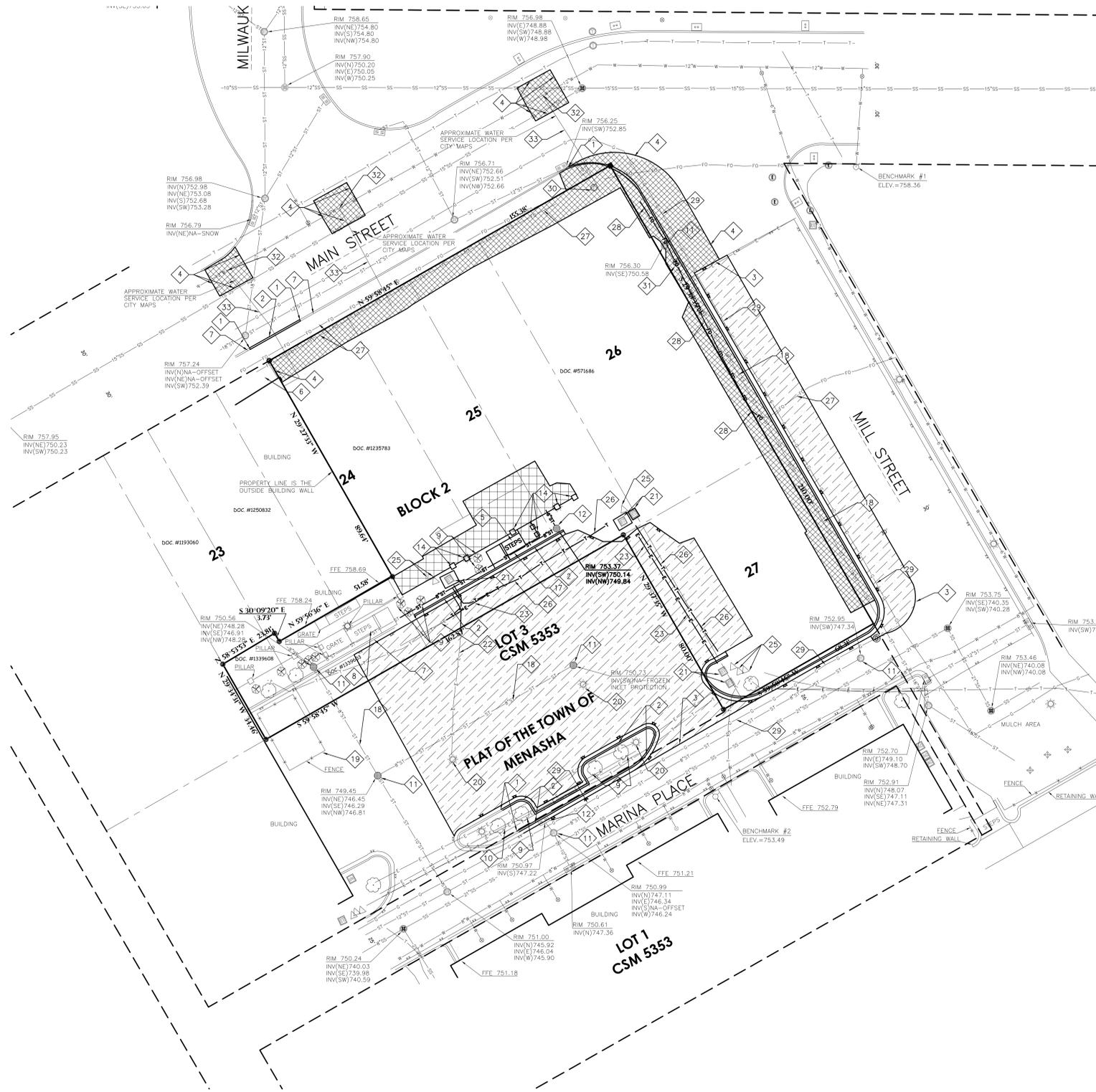
Time of Hearings: 6:00 p.m. or shortly thereafter

Place of Hearings: City Hall Council Chambers, 140 Main Street, Menasha

All persons interested in commenting on the proposed amendment are invited to attend.

Deborah A. Galeazzi  
City Clerk

Publish: April 11 and 14, 2015



**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 BURY BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF MARINA PLACE, 100' +/- WEST OF MILL STREET.  
 ELEVATION 793.50  
 BENCHMARK #2  
 BURY BOLT OF FIRE HYDRANT LOCATED IN THE SOUTHEAST QUADRANT OF MAIN STREET AND MILL STREET INTERSECTION.  
 ELEVATION 758.36

**DESCRIPTION**

BEING ALL OF LOTS 25 AND 26, AND BEING PART OF LOTS 23, 24, 27 AND 28 OF BLOCK 2 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**GENERAL NOTES:**

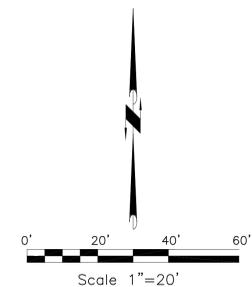
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING PRIVATE UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK.
- ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND COMMERCIAL BUILDINGS SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH SAID BUSINESSES.

**KEYNOTES:**

- |  |  |
|--|--|
| 1 SAWCUT EXISTING CONCRETE CURBING         | 18 MAINTAIN EXISTING STORM SEWER PIPE  |
| 2 REMOVE EXISTING CONCRETE CURBING         | 19 MAINTAIN EXISTING FENCE   |
| 3 SAWCUT EXISTING BITUMINOUS PAVEMENT      | 20 REMOVE EXISTING POWER/LIGHT POLE  |
| 4 SAWCUT EXISTING CONCRETE                 | 21 COORDINATE REMOVAL/RELOCATION OF ELECTRICAL TRANSFORMER WITH ELECTRIC COMPANY |
| 5 REMOVE EXISTING CONCRETE STEPS           | 22 MAINTAIN AND PROTECT EXISTING ELECTRICAL LINE                                 |
| 6 MAINTAIN EXISTING CONCRETE WALK          | 23 REMOVE EXISTING ELECTRICAL LINE   |
| 7 MAINTAIN EXISTING CONCRETE CURBING       | 24 MAINTAIN AND PROTECT EXISTING TELEPHONE LINE                                  |
| 8 MAINTAIN EXISTING CONCRETE STEPS         | 25 COORDINATE RELOCATION OF EXISTING TELEPHONE BOX WITH TELEPHONE COMPANY        |
| 9 REMOVE EXISTING TREE                     | 26 REMOVE/RELOCATE EXISTING UNDERGROUND TELEPHONE LINE                           |
| 10 MAINTAIN EXISTING TREE                  | 27 MAINTAIN EXISTING FIBER OPTIC LINE  |
| 11 MAINTAIN EXISTING STORM SEWER STRUCTURE | 28 REMOVE/RELOCATE EXISTING FIBER OPTIC LINE                                     |
| 12 REMOVE EXISTING STORM SEWER STRUCTURE   | 29 MAINTAIN EXISTING GAS LINE  |
| 13 ABANDON EXISTING STORM PIPE             | 30 MAINTAIN EXISTING TELEPHONE/FIBER OPTIC MANHOLE                               |
| 14 REMOVE EXISTING PILLAR                  | 31 RELOCATE EXISTING ELECTRIC MANHOLE  |
| 15 MAINTAIN EXISTING WATER VALVES          | 32 DISCONNECT WATER SERVICE AT MAIN SHUT OFF CORPORATION. COORDINATE WITH CITY.  |
| 16 MAINTAIN EXISTING STORM SEWER PIPE      | 33 ABANDON EXISTING WATER SERVICE  |
| 17 REMOVE EXISTING STORM SEWER PIPE        |  |

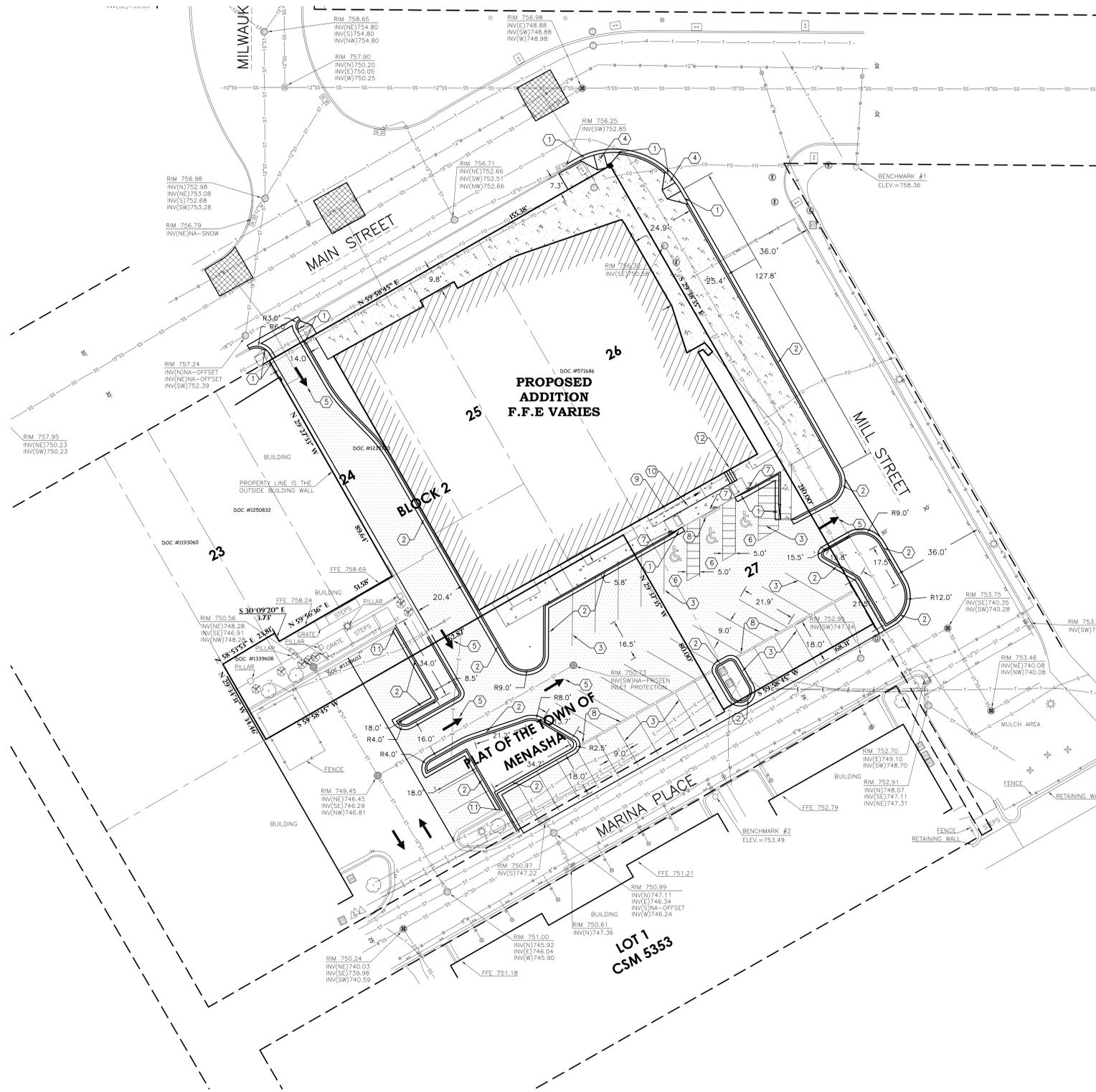
**DEMOLITION HATCH PATTERNS:**

- |                                   |  |
|-----------------------------------|--|
| BITUMINOUS REMOVAL                |  |
| CONCRETE REMOVAL                  |  |
| REMOVAL OF ELEVATED CONCRETE WALK |  |



Land Surveying  
 Engineering  
 Landscape Architecture  
 5709 Wincly Drive, Suite D  
 53154-9999 (WI) 715.534.9922 (TX)  
**Perma**  
 ARCHITECTS + ENGINEERS

THE  
 DRAWN: WFF  
 CHECKED: JUL  
 DATE: 03/30/15  
 SCALE:  
 DRAWING NO: C1.0  
 PROJECT NO: 14097  
 REV:



**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 BURY BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF MARINA PLACE, 100' +/- WEST OF MILL STREET.  
 ELEVATION 753.50  
 BENCHMARK #2  
 BURY BOLT OF FIRE HYDRANT LOCATED IN THE SOUTHEAST QUADRANT OF MAIN STREET AND MILL STREET INTERSECTION.  
 ELEVATION 758.36

**DESCRIPTION**

BEING ALL OF LOTS 25 AND 26, AND BEING PART OF LOTS 23, 24, 27 AND 28 OF BLOCK 2 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**GENERAL NOTES:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
5. SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
8. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
9. PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
10. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
11. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
12. SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
13. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
14. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/ CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

**KEYNOTES:**

- ① 6" CURB TAPER SECTION
- ② 30" CURB & GUTTER
- ③ PARKING LOT STRIPING
- ④ HANDI-CAP RAMP
- ⑤ DIRECTIONAL ARROW
- ⑥ HANDICAP PARKING STALL
- ⑦ HANDICAP PARKING SIGN
- ⑧ 8' PARKING STOP
- ⑨ ADA ACCESS ROUTE
- ⑩ PROPOSED RETAINING WALL

**PAVEMENT HATCH PATTERNS:**

- PROPOSED 3" ASPHALTIC CONCRETE PAVEMENT W/ 9" BASE COURSE 
- PROPOSED 4" CONCRETE PAVEMENT 
- PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING 

Land Surveying  
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 Landscape Architecture  
 5709 Winch Drive, Suite D  
 54983 Menasha, WI 54951  
 920.334.9999 (P)  
 920.334.9920 (F)

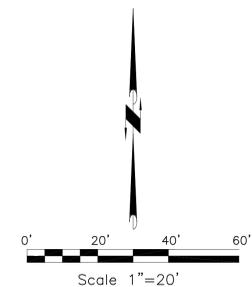
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 Date: 03/30/15  
 Scale:  
 Drawing No: C2.0  
 Project No: 14097

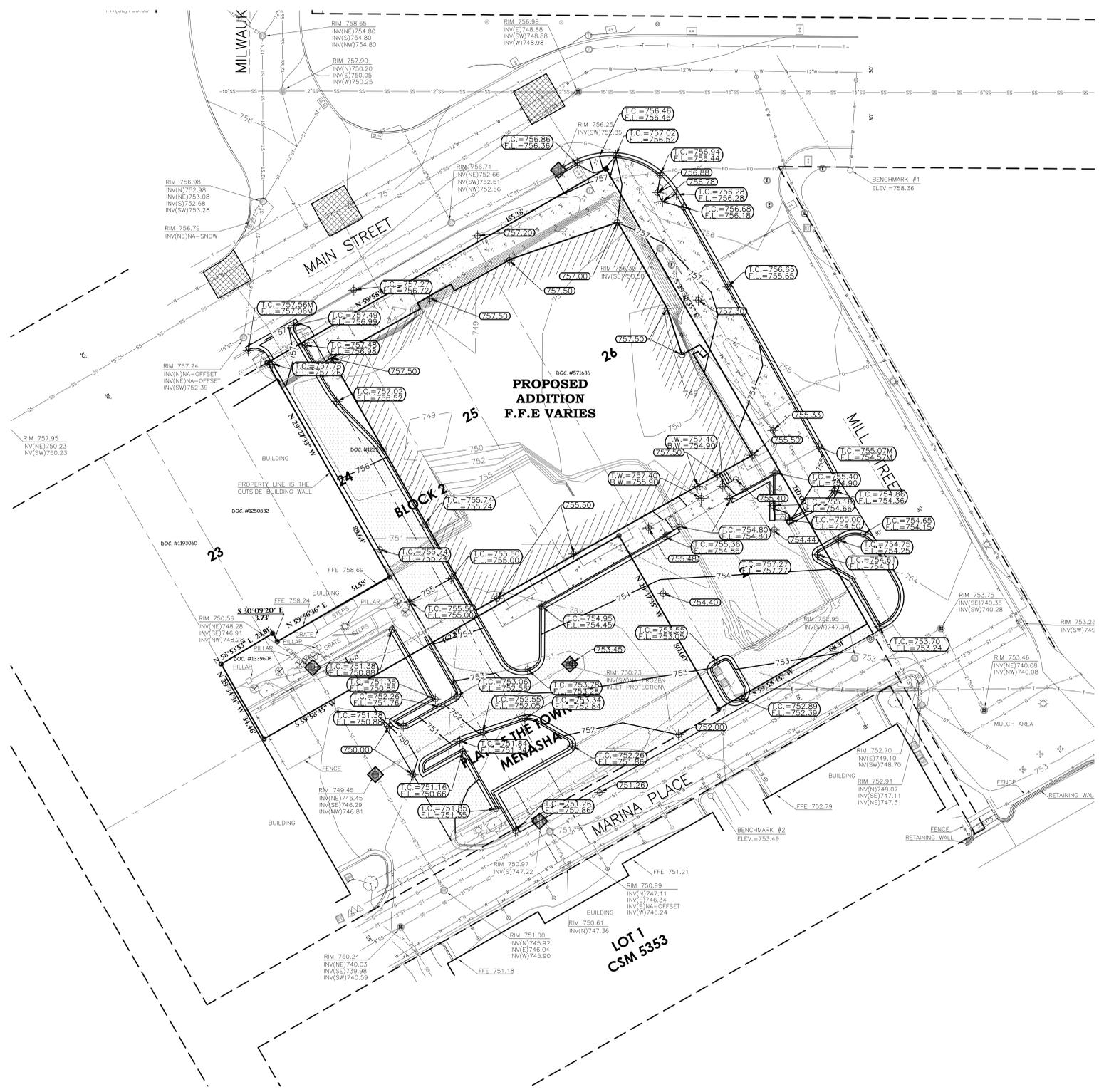
LAYOUT PLAN

ONE MENASHA CENTER  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WISCONSIN

Performa  
 ARCHITECTS + ENGINEERS

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 DATE: \_\_\_\_\_





BENCH MARK	DESCRIPTION
BENCHMARK #1 BURY BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF MARINA PLACE, 100' +/- WEST OF MILL STREET. ELEVATION 753.50	BEING ALL OF LOTS 25 AND 26, AND BEING PART OF LOTS 23, 24, 27 AND 28 OF BLOCK 2 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.
BENCHMARK #2 BURY BOLT OF FIRE HYDRANT LOCATED IN THE SOUTHEAST QUADRANT OF MAIN STREET AND MILL STREET INTERSECTION. ELEVATION 758.36	

### GENERAL NOTES:

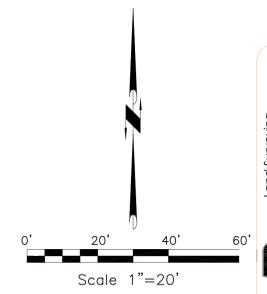
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 757.50' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- THE CONTRACTOR SHALL ONLY USE PHOSPHORUS FREE FERTILIZER FOR ALL LANDSCAPE APPLICATIONS.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

### EROSION CONTROL SEQUENCING

- INSTALL PERIMETER EROSION CONTROL.
- BEGIN DEMOLITION.
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- ALL DISTURBED AREAS SHALL BE STABILIZED, TEMPORARILY AND/OR PERMANENT, WITHIN 30 DAYS OF DISTURBANCE, OR PERMANENTLY STABILIZED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
- ALL DISTURBED AREAS SHALL BE FULLY STABILIZED PRIOR TO COMMENCEMENT OF PHASE 2.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

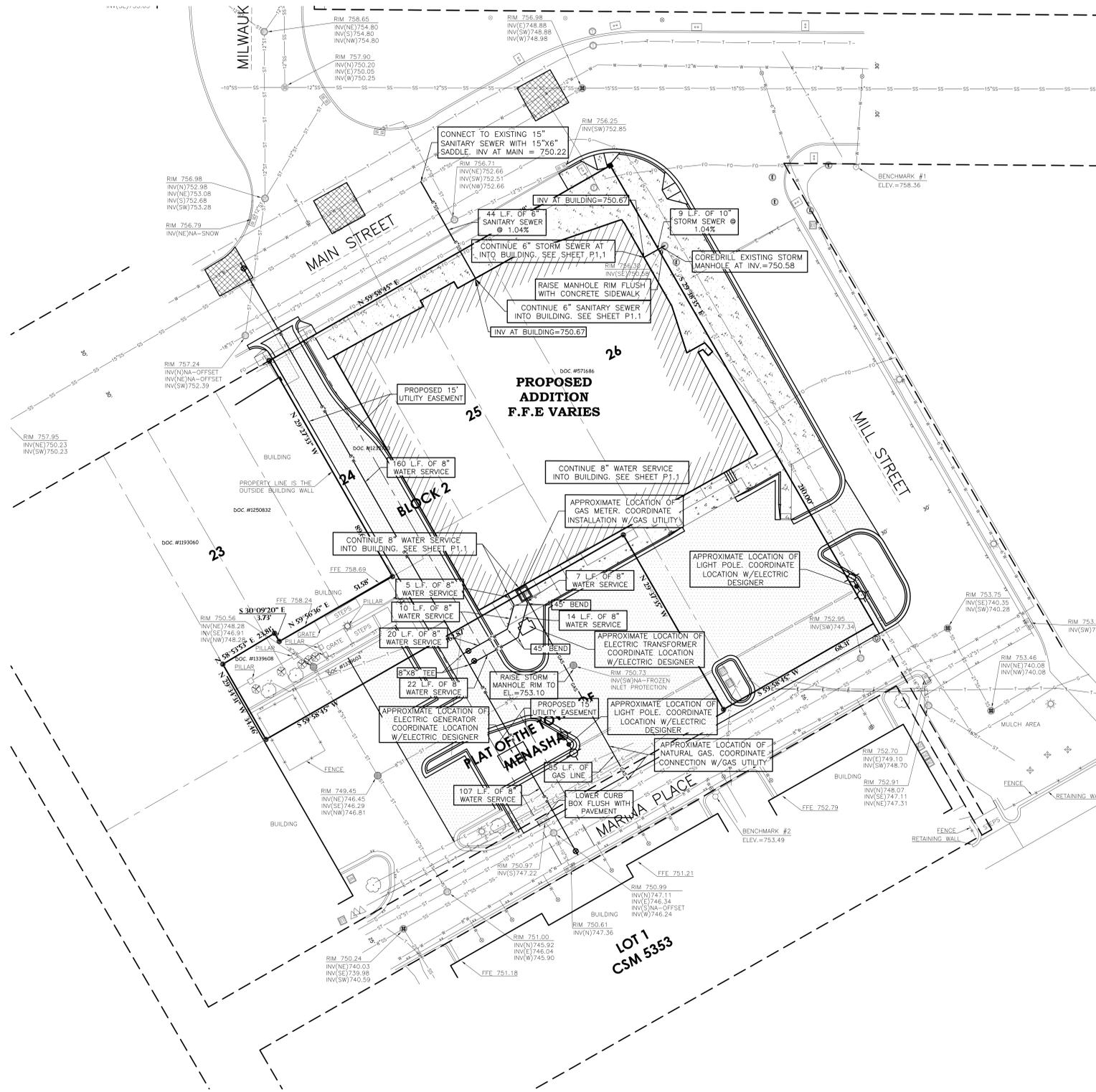
### GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	752.70
PROPOSED RIM ELEVATION	893.50
PROPOSED TOP OF CURB ELEVATION	893.50
PROPOSED FLOW LINE ELEVATION	893.50
PROPOSED TOP OF WALL ELEVATION	893.50
PROPOSED BOTTOM OF WALL ELEVATION	893.50
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	893.50
PROPOSED INLET PROTECTION	893.50



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 5709 Winch Drive, Suite D  
 Wauwatosa, WI 53226  
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 WWW.PERFORMA-INC.COM

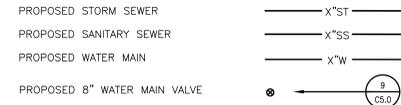
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 DATE: 03/30/15  
 SCALE:  
 DRAWING NO: C3.0  
 PROJECT NO: 14097  
 REV:



**GENERAL NOTES:**

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
4. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY SEWER LATERAL.
5. COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
6. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
7. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
8. THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C3.0 FOR PROPOSED GRADES.
9. THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
10. FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.

**UTILITY LEGEND:**



**BENCH MARK**

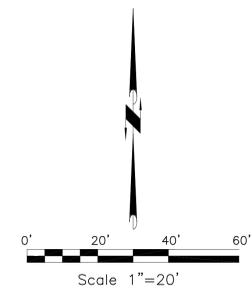
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1  
BURY BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF MARINA PLACE, 100' +/- WEST OF MILL STREET.  
ELEVATION 753.50

BENCHMARK #2  
BURY BOLT ON FIRE HYDRANT LOCATED IN THE SOUTHEAST QUADRANT OF MAIN STREET AND MILL STREET INTERSECTION.  
ELEVATION 758.36

**DESCRIPTION**

BEING ALL OF LOTS 25 AND 26, AND BEING PART OF LOTS 23, 24, 27 AND 28 OF BLOCK 2 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



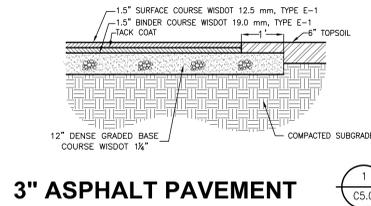
ONE MENASHA CENTER  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WISCONSIN

**Performa**  
 ARCHITECTS + ENGINEERS

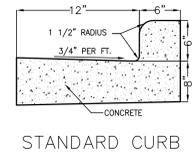
2244 BIRCHWOOD PKWY, SUITE 114  
 MENASHA, WISCONSIN 54952  
 PHONE: 920.336.9797 FAX: 920.336.2898 WWW.PERFORMA-INC.COM

TITLE: UTILITY PLAN

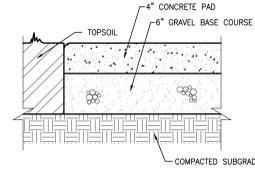
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DATE: 03/30/15	
SCALE: C4.0	
DRAWING NO: 14097	REV: 14097



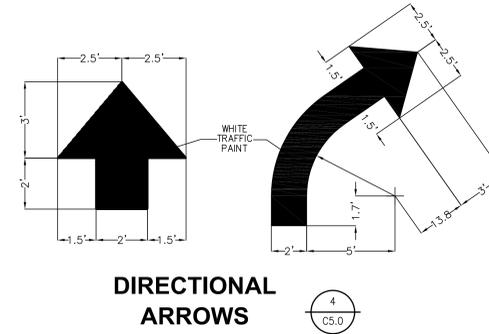
**3" ASPHALT PAVEMENT** 1  
C5.0



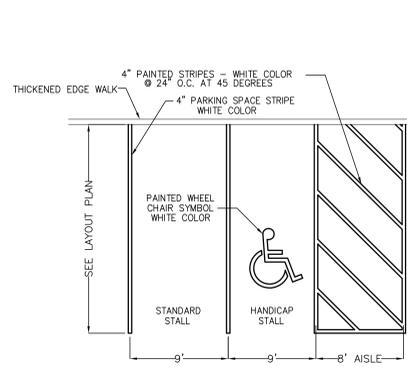
**30" CURB AND GUTTER** 2  
C5.0



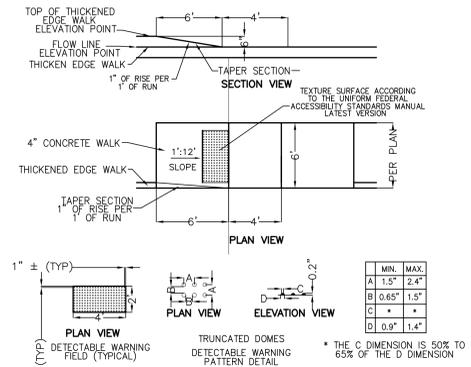
**4" CONCRETE PAVEMENT** 3  
C5.0



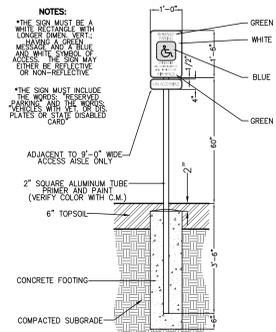
**DIRECTIONAL ARROWS** 4  
C5.0



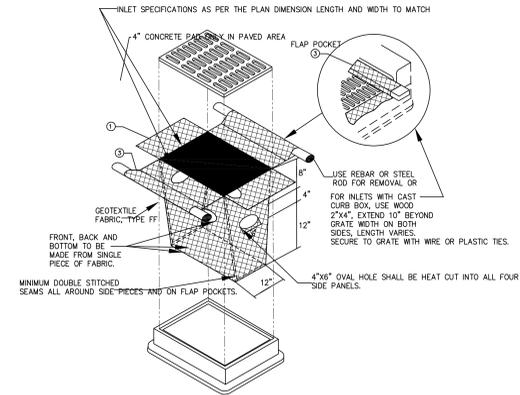
**PARKING LOT STRIPING** 5  
C5.0



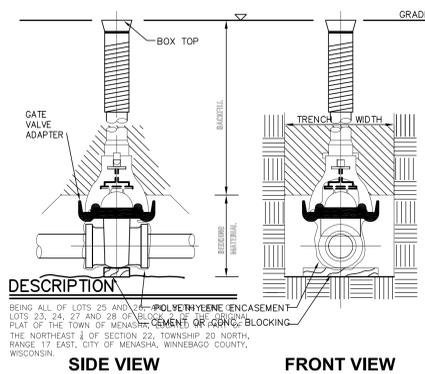
**A.D.A. CURB RAMP** 6  
C5.0



**HANDICAP SIGN** 7  
C5.0



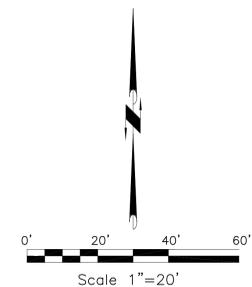
**INLET PROTECTION** 8  
C5.0



**WATER VALVE** 9  
C5.0

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 BURY BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF MARINA PLACE, 100' +/- WEST OF MILL STREET. ELEVATION 793.50  
 BENCHMARK #2  
 BURY BOLT OF FIRE HYDRANT LOCATED IN THE SOUTHEAST QUADRANT OF MAIN STREET AND MILL STREET INTERSECTION. ELEVATION 798.36



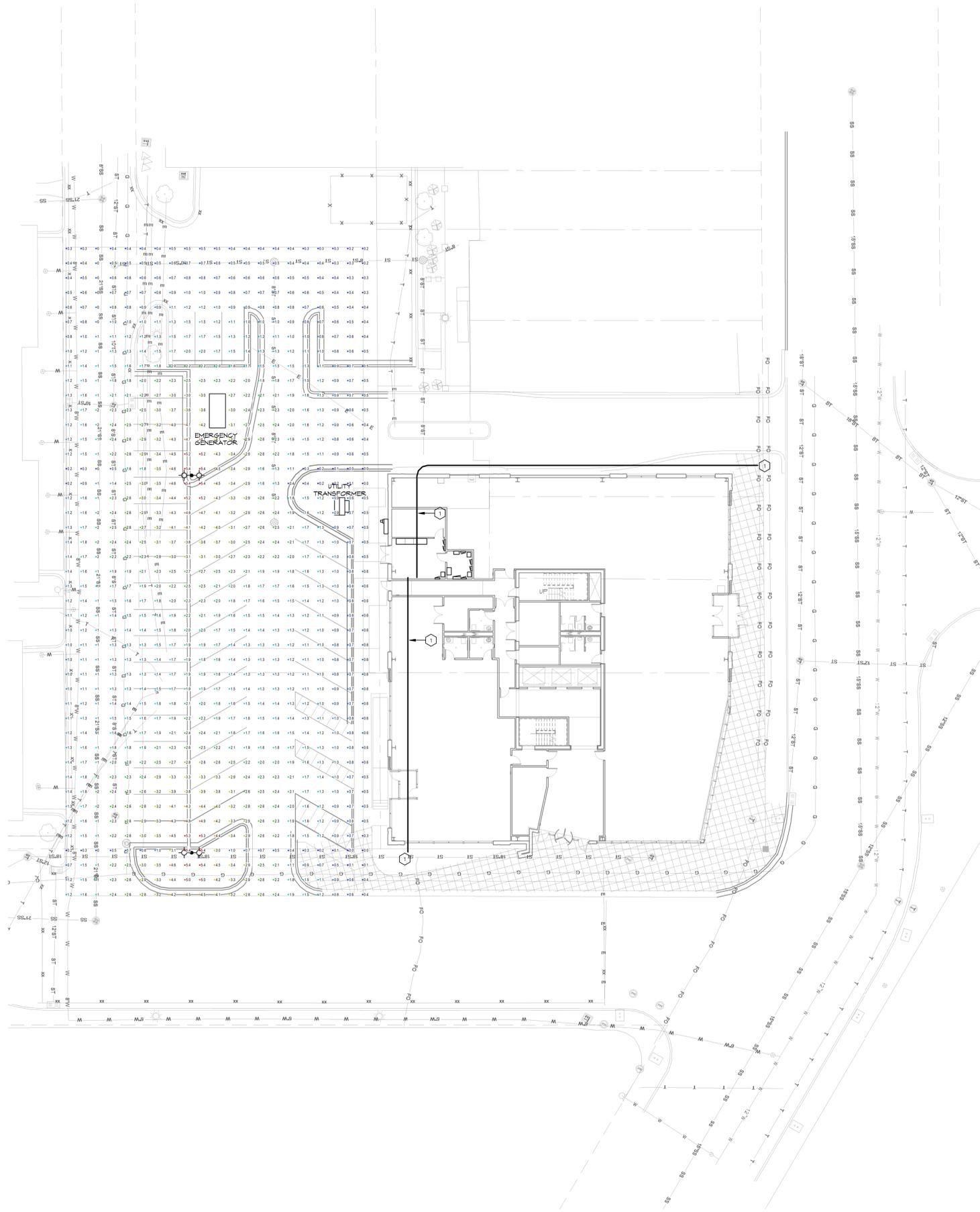
Land Surveying  
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 5709 Winley Drive, Suite D  
 53154-3444  
 920.234.9999  
 920.234.9920

ONE MENASHA CENTER  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WISCONSIN

Performa ARCHITECTS + ENGINEERS

DATE: 03/30/15  
 DRAWN: WFR  
 CHECKED: JUL  
 SCALE: C5.0  
 PROJECT NO: 14097

DETAIL SHEET



**SITE ELECTRICAL NOTES:**

- FURNISH (2) 4" BURIED PVC CONDUIT WITH SNEEPIING BENDS TO STREET FOR COMMUNICATIONS/FIBER.

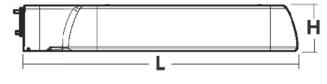


**CSX2 LED**  
LED Area Luminaire



**Specifications**

- EPA: 1.2 ft<sup>2</sup> (0.11 m<sup>2</sup>)
- Length: 34-1/3" (87.1 cm)
- Width: 18-1/2" (46.9 cm)
- Height: 5-3/4" (14.6 cm)
- Weight (max): 59 lbs (26.8 kg)



**PARKING LOT LUMINAIRE**



**SITE ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"

**ELEVATION NOTES:**

1. C.J. = CONTROL JOINT
2. PROVIDE METAL STUD FRAMING AT ALL METAL PANEL JOINTS (TYPICAL). COORDINATE LOCATIONS WITH METAL PANEL SUPPLIER.
3. SEE DETAIL (24/A6.3) FOR TYPICAL CAST STONE PANEL JOINT.
4. SPANDREL GLASS SHOWN SHADED. SEE DETAIL (11/A6.3).



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

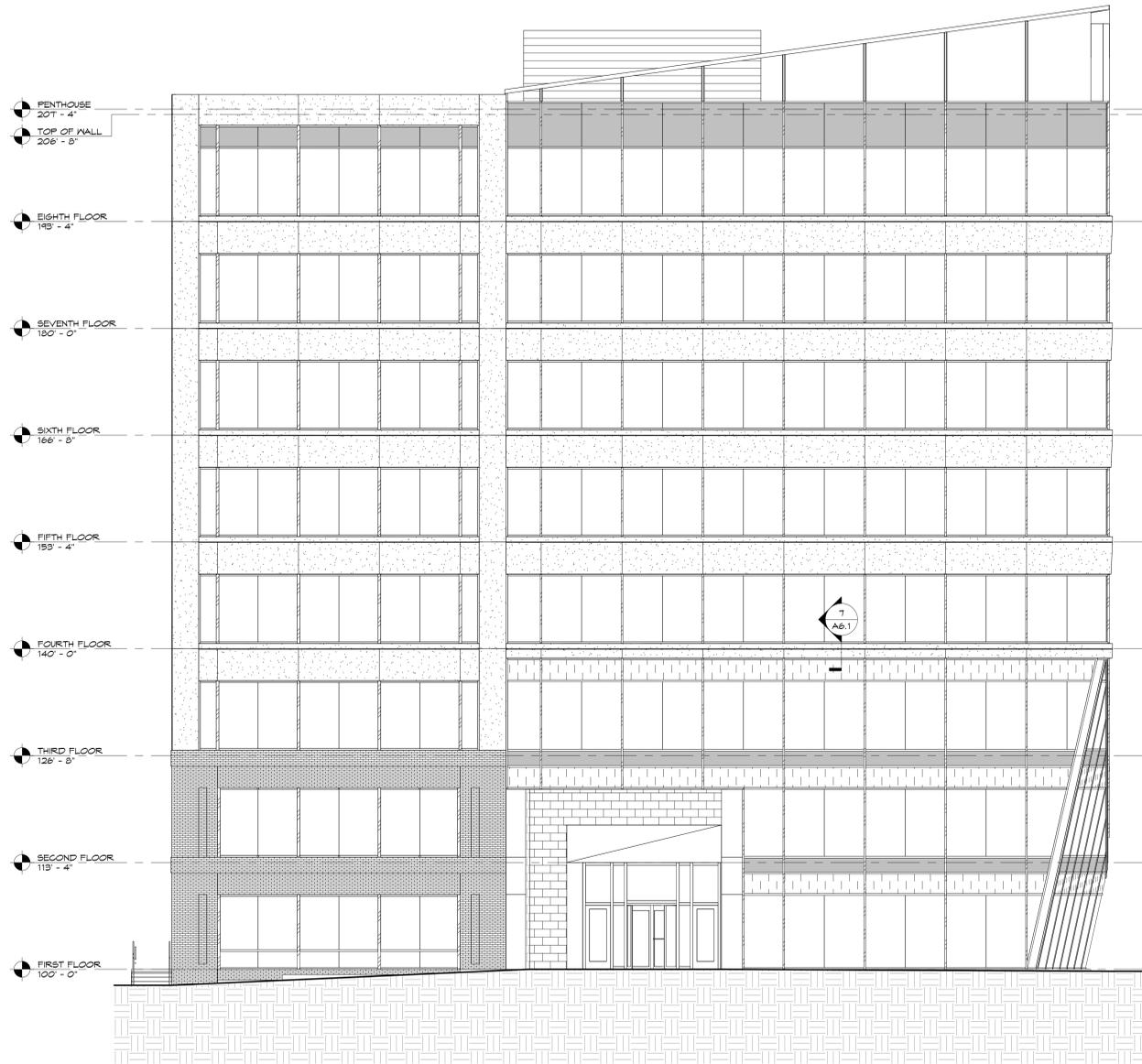
PRELIMINARY - NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE
<p><b>ONE MENASHA CENTER</b> <b>MENASHA DOWNTOWN DEVELOPMENT, LLC</b> MENASHA, WISCONSIN</p>			
<p><b>Performa</b> ARCHITECTS + ENGINEERS <small>1248 BRIDGEMAN FLD, SUITE 100 MENASHA, WI 53233-2002 FAX: 920.338.3999 www.performawis.com</small></p>			
<p>EXTERIOR ELEVATIONS</p>			
DRAWN	JAN	CHKD	RB
DATE	MM/DD/YY		
SCALE	1/8" = 1'-0"		
DRAWING NO.	<b>A3.1</b>		
PROJECT NO.	14071		



**ELEVATION NOTES:**

1. C.J. = CONTROL JOINT
2. PROVIDE METAL STUD FRAMING AT ALL METAL PANEL JOINTS (TYPICAL). COORDINATE LOCATIONS WITH METAL PANEL SUPPLIER.
3. SEE DETAIL (24/A6.3) FOR TYPICAL CAST STONE PANEL JOINT.
4. SPANDREL GLASS SHOWN SHADED. SEE DETAIL (11/A6.3).



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE
<p><b>Performa</b> ARCHITECTS + ENGINEERS</p> <p>1248 BRIDGEMAN FLD, BLDG 1196 MENASHA, WI 53051-1997 FAX: 920.333.3999 www.performaweb.com</p>			
<p><b>ONE MENASHA CENTER</b> <b>MENASHA DOWNTOWN DEVELOPMENT, LLC</b> MENASHA, WISCONSIN</p>			
<p>EXTERIOR ELEVATIONS</p>			
TITLE	DRAWN	CHKD	RB
JAN			
DATE	MM/DD/YY		
SCALE	1/8" = 1'-0"		
DRAWING NO.	<b>A3.3</b>		
PROJECT NO.	REV	DATE	
14071			

**ELEVATION NOTES:**

1. C.J. = CONTROL JOINT
2. PROVIDE METAL STUD FRAMING AT ALL METAL PANEL JOINTS (TYPICAL). COORDINATE LOCATIONS WITH METAL PANEL SUPPLIER.
3. SEE DETAIL (24/A&S) FOR TYPICAL CAST STONE PANEL JOINT.
4. SPANDREL GLASS SHOWN SHADED. SEE DETAIL (11/A&S).



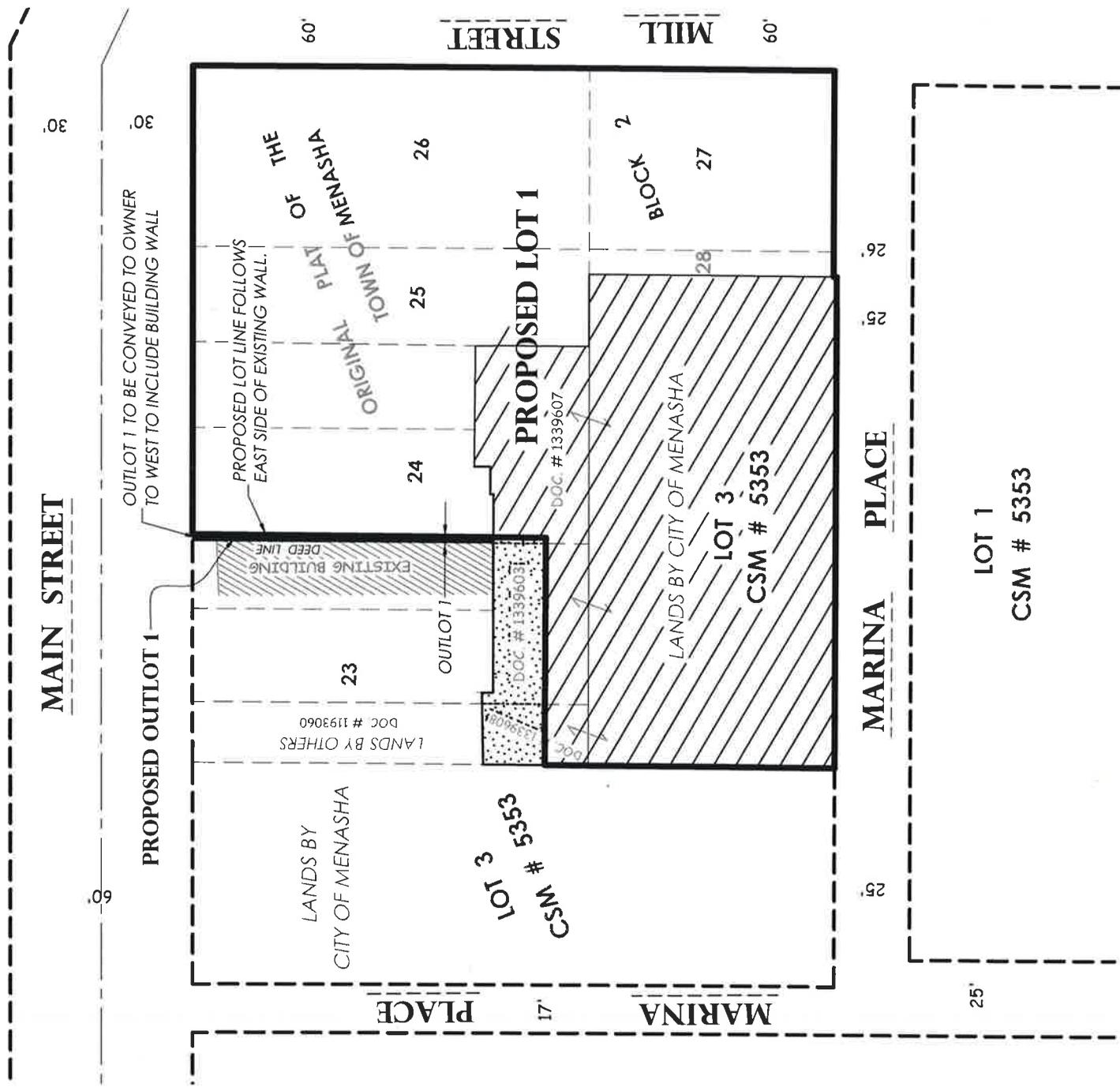
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	BY	DESCRIPTION	NO.
<p><b>ONE MENASHA CENTER</b> <b>MENASHA DOWNTOWN DEVELOPMENT, LLC</b> MENASHA, WISCONSIN</p>			
<p><b>Performa</b> ARCHITECTS + ENGINEERS 1218 BRIDGEMAN PLACE, SUITE 100 MENASHA, WI 53051-3999 TEL: 920.733.4000 FAX: 920.733.3999 www.performawis.com</p>			
<p>EXTERIOR ELEVATIONS</p>			
TITLE	DATE	BY	CHKD
DRAWN	JAN		RB
DATE	MM/DD/YY		
SCALE	1/8" = 1'-0"		
DRAWING NO.	<b>A3.4</b>		
PROJECT NO.	14071	REV	

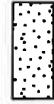
# PROPERTY EXHIBIT

BEING A PART OF LOT 3, CERTIFIED SURVEY MAP #5353, ALL OF LOTS 26 AND 25 AND A PART OF LOTS 24, 27 AND 28, BLOCK 2, ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN SECTION 22, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



SCALE 1" = 50'

### LEGEND



AREA TO BE RETAINED BY CITY OF MENASHA



AREA TO BE CONVEYED FROM CITY OF MENASHA



Point of Beginning

Civil Engineering  
Land Surveying  
Landscape Architecture  
**Jordan G. Brost, RLS #3009**  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999(Fax) 715.344.9922(Fx)

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST  
AND DRAWN BY JORDAN BROST

FIELD BOOK GB 2 PAGE 33-36

JOB # 15-401

SHEET 1 OF 1 SHEETS



Main & Mill Streets - Menasha, WI  
 ONE MENASHA CENTER

# Aerial



MILWAUKEE STREET



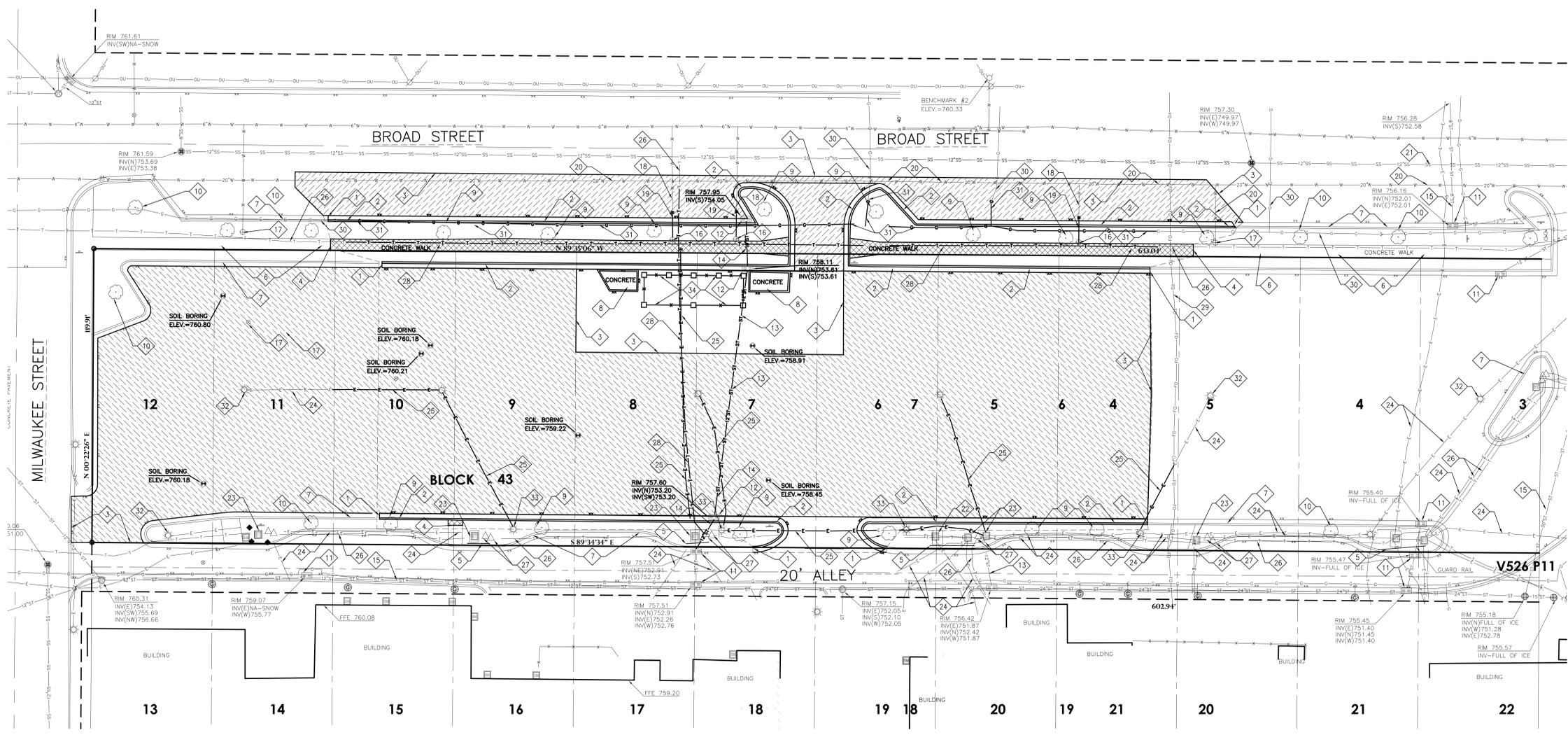
RIVER WALK



MAIN STREET EAST



MAIN STREET WEST



**DESCRIPTION**  
 BEING PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 OF BLOCK 43 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**BENCH MARK**  
 ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1  
 NORTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF BROAD STREET AND MILWAUKEE STREET INTERSECTION.  
 ELEVATION 765.04

BENCHMARK #2  
 THE TOP NUT OF YELLOW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF BROAD STREET, 60' +/- NORTHEAST OF THE DRIVEWAY ENTRANCE TO THE PARKING LOT.  
 ELEVATION 760.33

**GENERAL NOTES:**

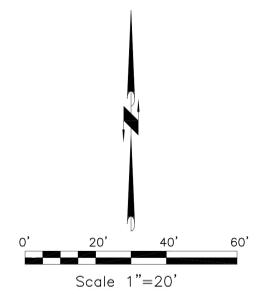
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING PRIVATE UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK.
- ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND COMMERCIAL BUILDINGS SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH SAID BUSINESSES.

**DEMOLITION HATCH PATTERNS:**



**KEYNOTES:**

- |  |   |   |
|--|---|---|
| 1 SAWCUT EXISTING CONCRETE CURBING         | 13 ABANDON EXISTING STORM PIPE  | 26 MAINTAIN AND PROTECT EXISTING TELEPHONE LINE   |
| 2 REMOVE EXISTING CONCRETE CURBING         | 14 REMOVE EXISTING STORM PIPE   | 27 MAINTAIN AND PROTECT EXISTING TELEPHONE BOX  |
| 3 SAWCUT EXISTING BITUMINOUS PAVEMENT      | 15 MAINTAIN EXISTING STORM PIPE   | 28 REMOVE/ABANDON EXISTING UNDERGROUND TELEPHONE LINE. COORDINATE RELOCATION WITH TELEPHONE COMPANY |
| 4 SAWCUT EXISTING CONCRETE                 | 16 REMOVE EXISTING WATER VALVES   | 29 MAINTAIN EXISTING FIBER OPTIC LINE   |
| 5 MAINTAIN GUARD RAIL                      | 17 MAINTAIN EXISTING WATER VALVES   | 30 MAINTAIN EXISTING GAS LINE   |
| 6 MAINTAIN EXISTING CONCRETE WALK          | 18 PLUG AND ABANDON WATER SERVICE   | 31 COORDINATE REMOVAL/RELOCATION OF GAS LINE WITH GAS COMPANY                                       |
| 7 MAINTAIN EXISTING CONCRETE CURBING       | 19 REMOVE EXISTING WATER SERVICE  | 32 MAINTAIN EXISTING POWER/LIGHT POLE   |
| 8 REMOVE EXISTING CONCRETE PAD             | 20 MAINTAIN EXISTING WATER MAIN   | 33 REMOVE EXISTING POWER/LIGHT POLE   |
| 9 REMOVE EXISTING TREE                     | 21 MAINTAIN EXISTING SANITARY SEWER PIPE  | 34 REMOVE EXISTING DUMPSTER ENCLOSURE   |
| 10 MAINTAIN EXISTING TREE                  | 22 COORDINATE REMOVAL/RELOCATION OF ELECTRICAL TRANSFORMER WITH ELECTRIC COMPANY        |   |
| 11 MAINTAIN EXISTING STORM SEWER STRUCTURE | 23 MAINTAIN AND PROTECT EXISTING ELECTRICAL TRANSFORMER                                 |   |
| 12 REMOVE EXISTING STORM SEWER STRUCTURE   | 24 MAINTAIN AND PROTECT EXISTING ELECTRICAL LINE  |   |
|  | 25 REMOVE/ABANDON EXISTING ELECTRICAL LINE. COORDINATE RELOCATION WITH ELECTRIC COMPANY |   |

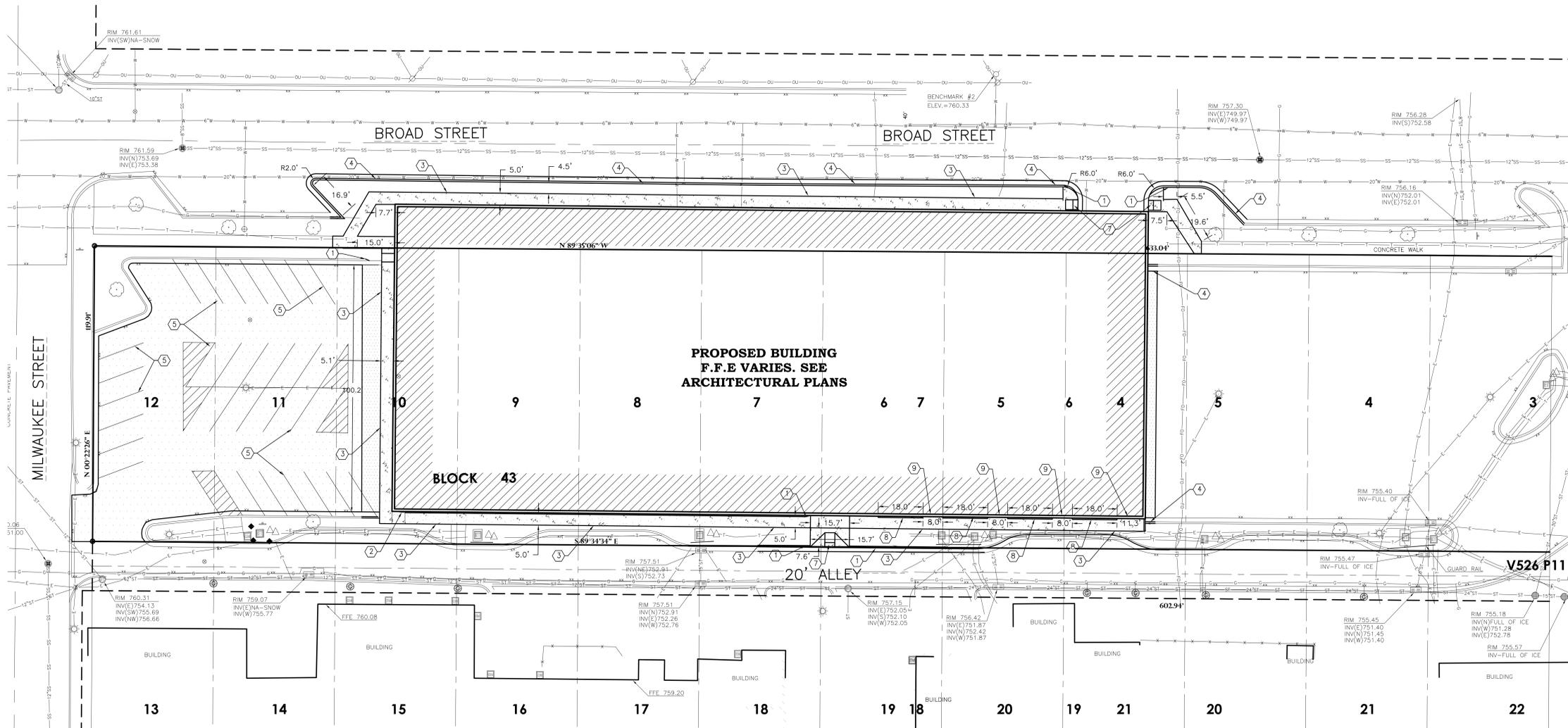


Land Surveying  
 Engineering  
 Landscape Architecture  
 5709 W. Waukegan Drive, Suite D  
 Waukegan, IL 60087  
 815.344.6999 (PH) 815.344.9922 (FX)

TITLE: DEMOLITION PLAN  
 DRAWN: WFR  
 CHECKED: JAL  
 DATE: 3/30/15  
 SCALE: 1" = 20'-0"  
 DRAWING NO.: C1.0  
 PROJECT NO.: 15016  
 REV:

**Performa**  
 ARCHITECTS + ENGINEERS  
1515 W. WASHINGTON ST. SUITE 200  
 MILWAUKEE, WI 53233  
 PHONE: 414.224.0000 FAX: 414.224.0001  
 WWW.PERFORMA-IL.COM

BROAD STREET PARKING STRUCTURE  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WI



**DESCRIPTION**

BEING PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 OF BLOCK 43 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 NORTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF BROAD STREET AND MILWAUKEE STREET INTERSECTION.  
 ELEVATION: 765.04  
 BENCHMARK #2  
 THE TOP NUT OF YELLOW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF BROAD STREET, 60' +/- NORTHEAST OF THE DRIVEWAY ENTRANCE TO THE PARKING LOT.  
 ELEVATION: 760.33

**GENERAL NOTES:**

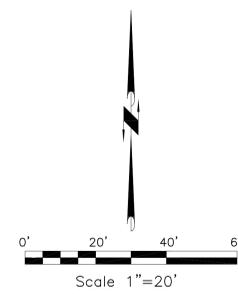
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
- SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
- ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/ CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

**KEYNOTES:**

- 1.5" CURB HEAD TAPER
- 6.0" CURB TAPER SECTION
- THICKENED EDGE WALK
- 30" CURB & GUTTER
- RE-STRIPE TO MATCH EXISTING PARKING CONFIGURATION
- PROPOSED DUMPSTER LOCATION
- ADA CURB RAMP
- 6" CURB HEAD
- FLUSH TRANSITION

**PAVEMENT HATCH PATTERNS:**

- PROPOSED 3" ASPHALTIC CONCRETE PAVEMENT W/ 9" BASE COURSE
- PROPOSED 4" CONCRETE PAVEMENT
- REPAVE EXISTING ASPHALT TO MATCH EXISTING THICKNESS



BROAD STREET PARKING STRUCTURE  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WI



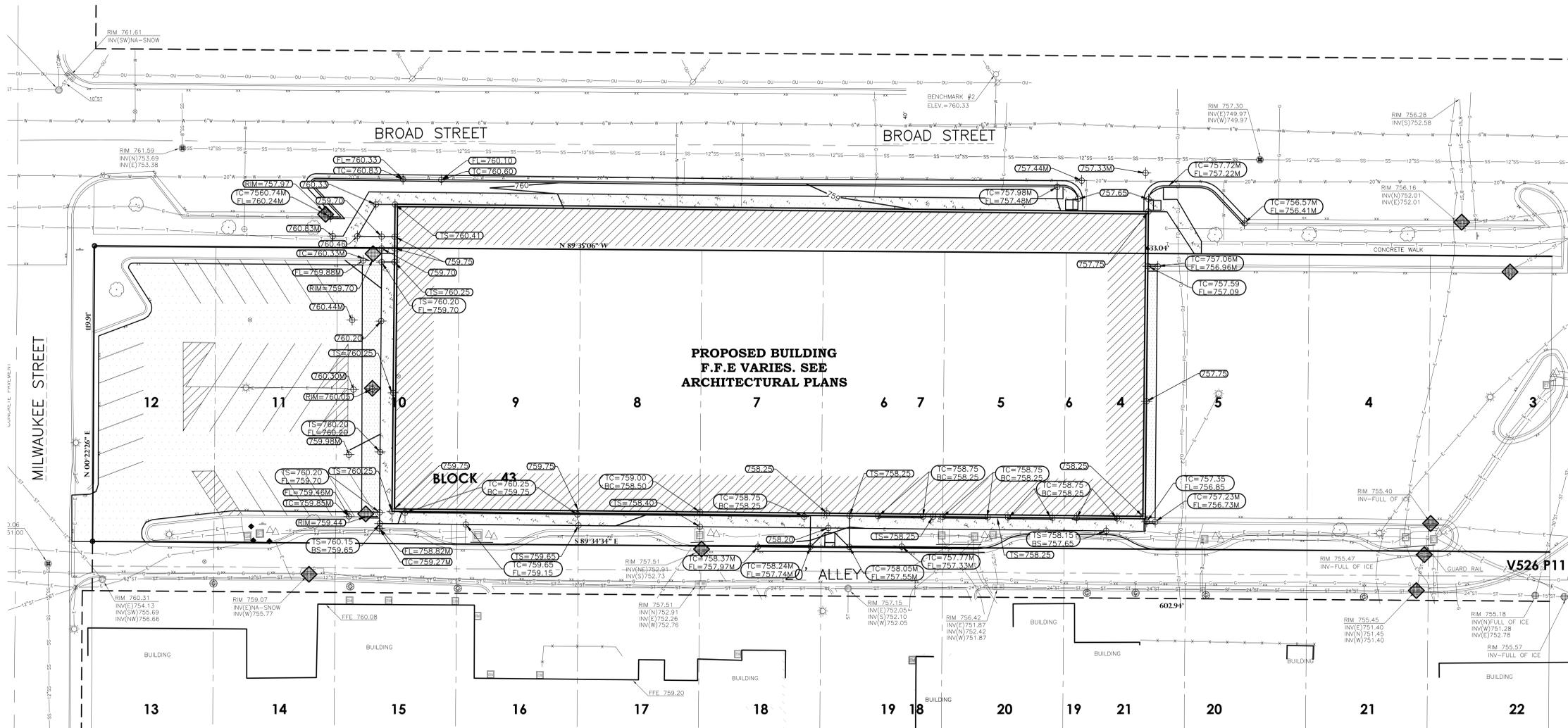
Land Surveying  
 Engineering  
 Landscape Architecture

ROB  
 5709 Wemyr Drive, Suite D  
 Menasha, WI 54952  
 715.344.6999 (PH) 715.344.6922 (FX)

DATE: 3/30/15  
 SCALE: 1" = 20'-0"  
 DRAWING NO.: C2.0  
 PROJECT NO.: 15016

NO.	DESCRIPTION	BY	DATE

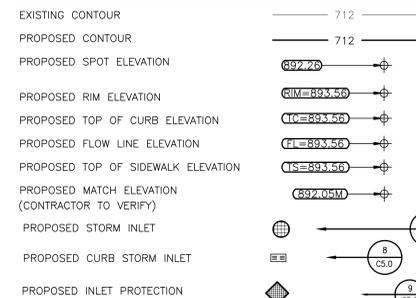
LAYOUT PLAN



**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 758.25' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH LOCAL DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- THE CONTRACTOR SHALL ONLY USE PHOSPHORUS FREE FERTILIZER FOR ALL LANDSCAPE APPLICATIONS.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.

**GRADING LEGEND:**



**EROSION CONTROL SEQUENCING**

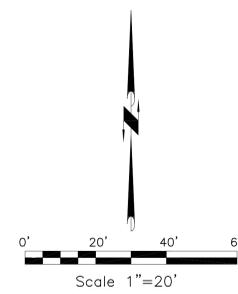
- INSTALL PERIMETER EROSION CONTROL.
- BEGIN DEMOLITION.
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- ALL DISTURBED AREAS SHALL BE STABILIZED, TEMPORARILY AND/OR PERMANENT, WITHIN 30 DAYS OF DISTURBANCE, OR PERMANENTLY STABILIZED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
- ALL DISTURBED AREAS SHALL BE FULLY STABILIZED PRIOR TO COMMENCEMENT OF PHASE 2.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR

**DESCRIPTION**

BEING PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 OF BLOCK 43 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
 BENCHMARK #1  
 NORTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF BROAD STREET AND MILWAUKEE STREET INTERSECTION.  
 ELEVATION 755.04  
 BENCHMARK #2  
 THE TOP NUT OF YELLOW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF BROAD STREET, 80' +/- NORTHEAST OF THE DRIVEWAY ENTRANCE TO THE PARKING LOT.  
 ELEVATION 760.33

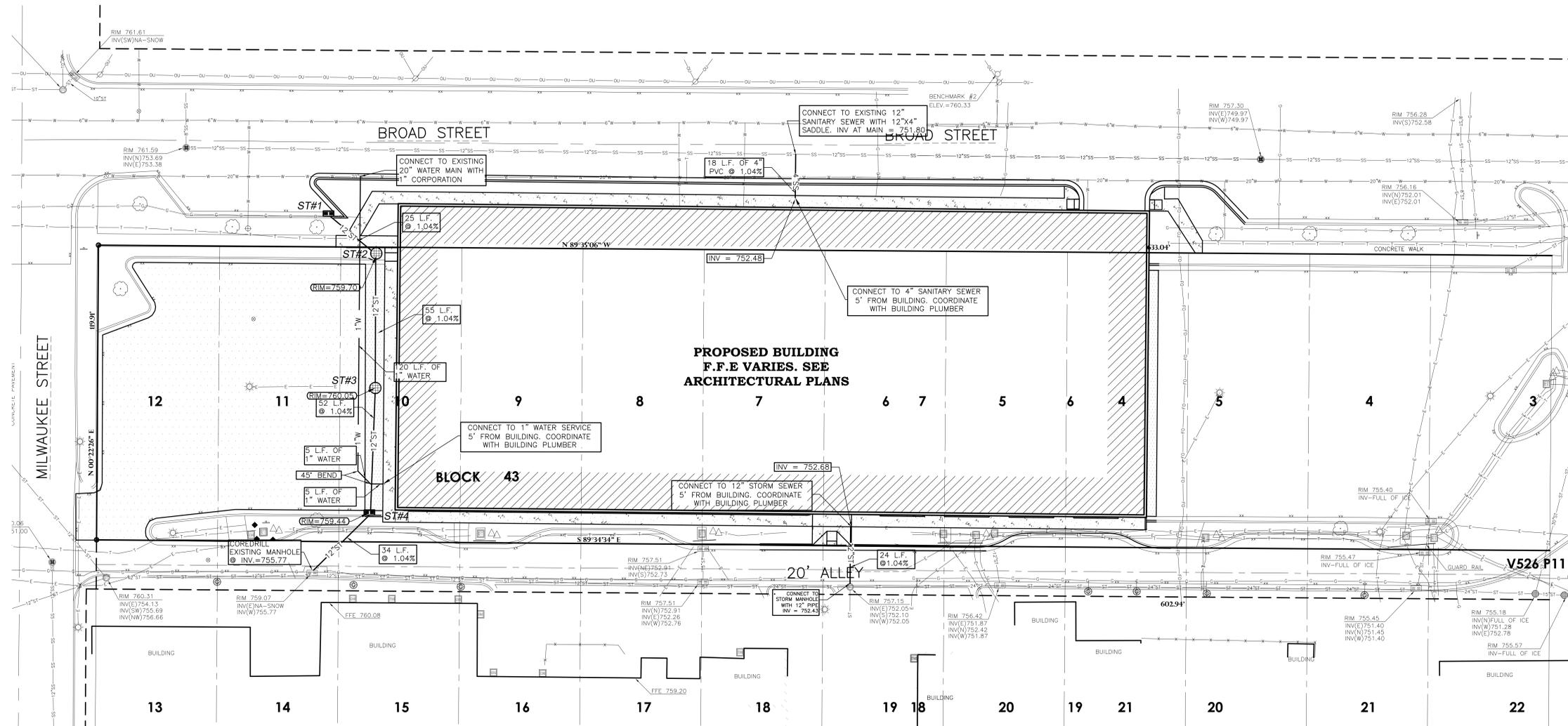


BROAD STREET PARKING STRUCTURE  
 MENASHA DOWNTOWN DEVELOPMENT, LLC  
 MENASHA, WI



Land Surveying  
 Engineering  
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 5709 W. Vero Drive, Suite D  
 Menasha, WI 54952  
 715.344.6999 (P) 715.344.6922 (F)

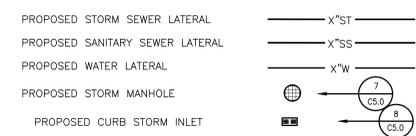
TITLE	GRADING PLAN
DRAWN	WFR
CHECKED	JL
DATE	3/30/15
SCALE	1" = 20'-0"
DRAWING NO.	C.3.0
PROJECT NO.	15016
REV.	



**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY SEWER LATERAL.
- COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 8'-0" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C3.0 FOR PROPOSED GRADES.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.

**UTILITY LEGEND:**



**STORM MANHOLE SCHEDULE:**

ST#1	ST#2
RIM 751.24	RIM 759.70
INV. SE 756.64	INV. SW 756.49
DEPTH 4.60	INV. NE 756.49
	DEPTH 3.21
2'x3' PRECAST BOX INLET	48" I.D. PRECAST MANHOLE
W/NEENAH R-3067 CASTING	W/ NEENAH R-2573 CASTING
TYPE "R" GRATE	W/ TYPE "C" GRATE

ST#3	ST#4
RIM 760.05	RIM 759.65
INV. SW 756.22	INV. SW 755.95
INV. E 756.22	INV. E 755.95
DEPTH 3.83	DEPTH 3.70
48" I.D. PRECAST MANHOLE	2'x3' PRECAST BOX INLET
W/ NEENAH R-3067 CASTING	W/NEENAH R-3067 CASTING
W/ TYPE "C" GRATE	TYPE "R" GRATE

**DESCRIPTION**

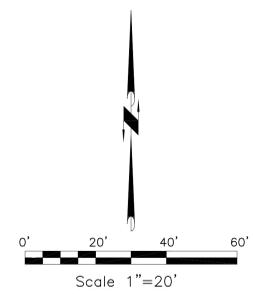
BEING PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 OF BLOCK 43 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1  
NORTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF BROAD STREET AND MILWAUKEE STREET INTERSECTION.  
ELEVATION 765.04

BENCHMARK #2  
THE TOP NUT OF YELLOW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF BROAD STREET, 60' +/- NORTHEAST OF THE DRIVEWAY ENTRANCE TO THE PARKING LOT.  
ELEVATION 760.33



BROAD STREET PARKING STRUCTURE  
MENASHA DOWNTOWN DEVELOPMENT, LLC  
MENASHA, WI

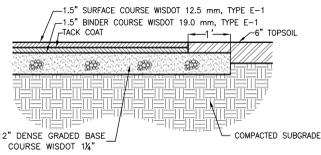


UTILITY PLAN

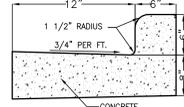
Land Surveying  
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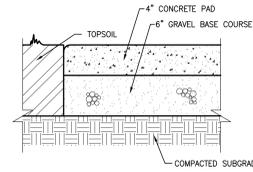
DATE: 3/30/15  
SCALE: 1" = 20'-0"  
DRAWING NO.: C4.0  
PROJECT NO.: 15016



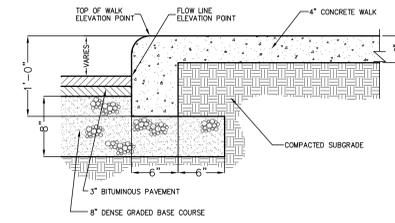
**3" ASPHALT PAVEMENT**



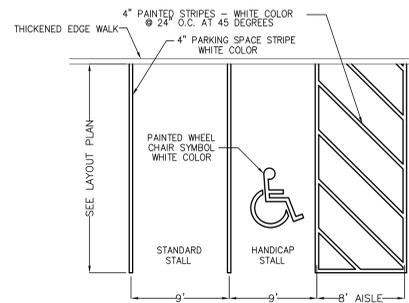
**STANDARD CURB**  
**30" CURB AND GUTTER**



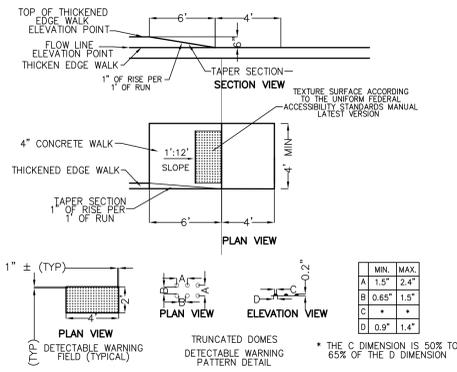
**4" CONCRETE PAVEMENT**



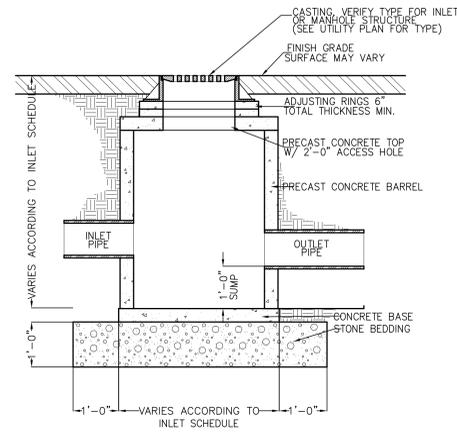
**THICKENED EDGE WALK**



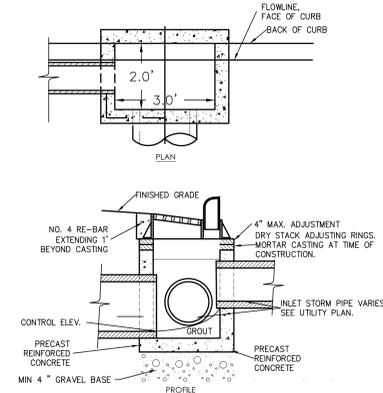
**PARKING LOT STRIPING**



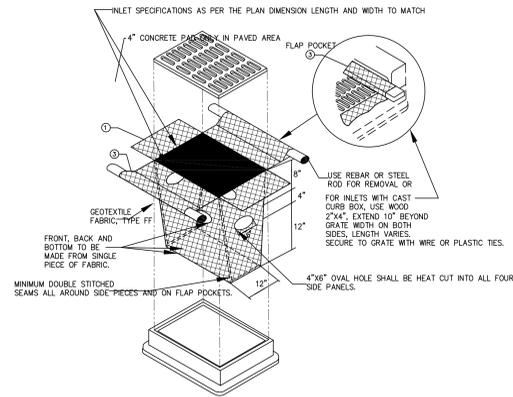
**A.D.A. CURB RAMP**



**STORM SEWER MANHOLE**



**CURB STORM INLET**



**INLET PROTECTION**

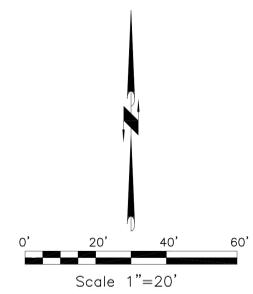


**DESCRIPTION**

BEING PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 OF BLOCK #3 OF THE ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.  
BENCHMARK #1  
NORTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF BROAD STREET AND MILWAUKEE STREET INTERSECTION.  
ELEVATION 765.04  
BENCHMARK #2  
THE TOP NUT OF YELLOW FIRE HYDRANT LOCATED ON THE NORTH SIDE OF BROAD STREET, 60' +/- NORTHEAST OF THE DRIVEWAY ENTRANCE TO THE PARKING LOT.  
ELEVATION 760.33



Land Surveying  
Engineering  
Landscape Architecture  
5709 W. Vero Drive, Suite D  
Menasha, WI 54952  
715.344.6999 (PH) 715.344.9922 (FX)

Point of Beginning  
15016

BROAD STREET PARKING STRUCTURE  
MENASHA DOWNTOWN DEVELOPMENT, LLC  
MENASHA, WI

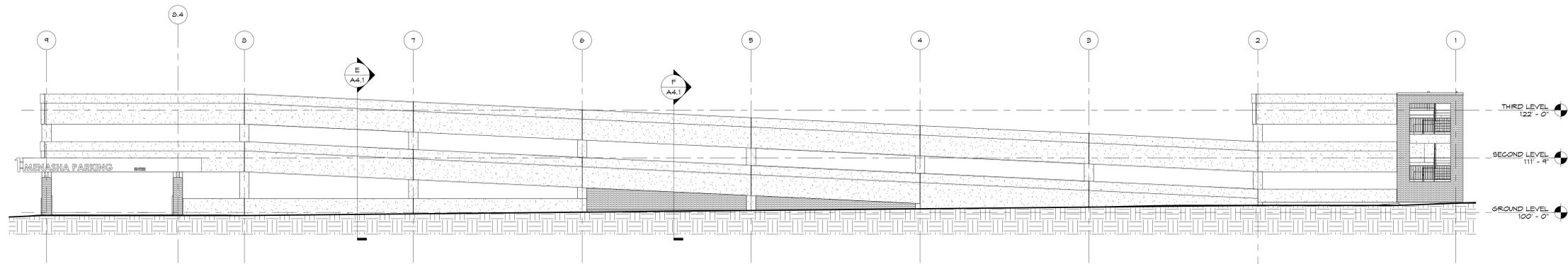
**Performa**  
ARCHITECTS + ENGINEERS

DETAIL SHEET

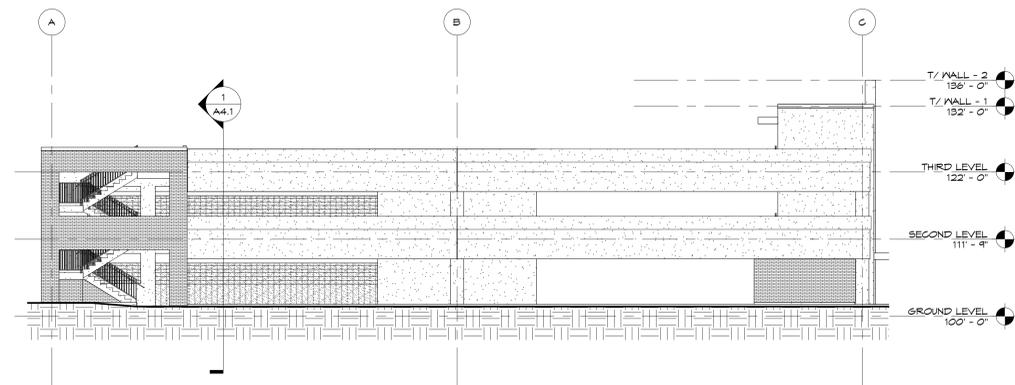
TITLE  
DRAWN: WFR  
CHECKED: JAL  
DATE: 3/30/15  
SCALE: 1" = 20'-0"  
DRAWING NO.: C5.0  
PROJECT NO.:  
REV:



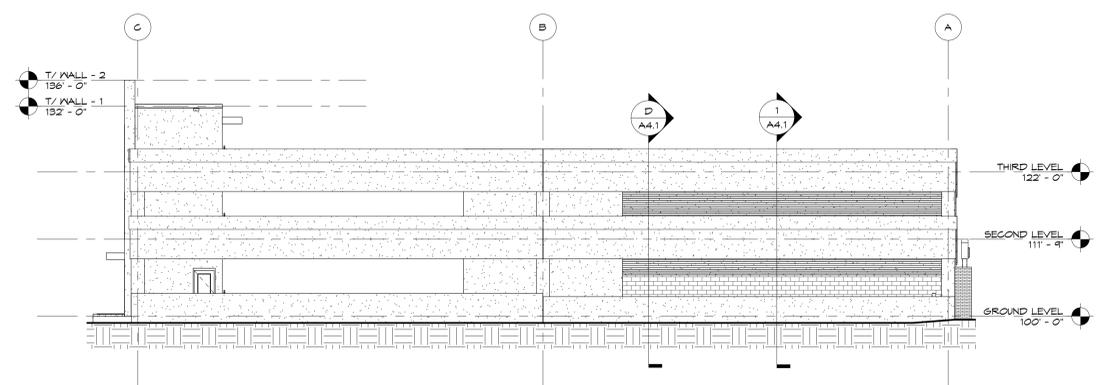
**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

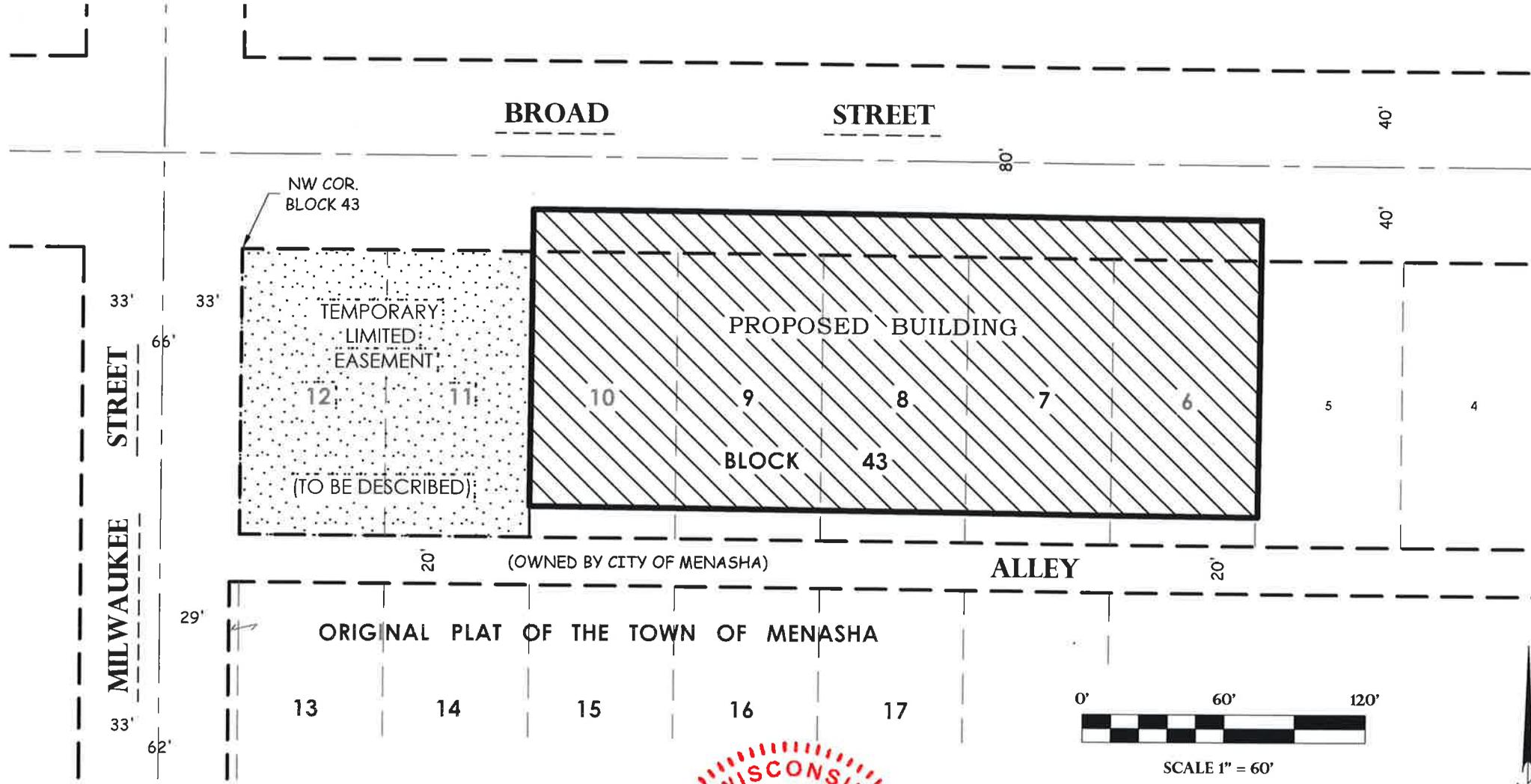


**EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

DATE	
BY	
DESCRIPTION	
NO.	
<b>BROAD STREET PARKING STRUCTURE</b>	
<b>MENASHA DOWNTOWN DEVELOPMENT, LLC</b>	
MENASHA, WI	
<b>Performa</b> ARCHITECTS + ENGINEERS	
1248 BRONKHORST PARK DRIVE SUITE 100 BRONKHORST PARK, NY 11435-3999 TEL: 718.333.3999 FAX: 718.333.3998 WWW.PERFORMA.COM	
EXTERIOR ELEVATIONS	
TITLE	
DRAWN	JR
CHKD	RB
DATE	MM/DD/YY
SCALE	3/32" = 1'-0"
DRAWING NO.	<b>A3.1</b>
PROJECT NO.	15016

# PROPERTY EXHIBIT

BEING PART OF LOTS 5, 6, 7, 8, 9, 10, 11, AND 12, BLOCK 43, ORIGINAL PLAT OF THE TOWN OF MENASHA, LOCATED IN PART OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



**JORDAN G. BROST**  
 S-3009  
 MOSINEE, WI  
 LAND SURVEYOR  
 4/10/15

- LEGEND**
- TEMPORARY LIMITED EASEMENT FOR CONSTRUCTION
  - AREA TO BE INCLUDED IN LEASE AGREEMENT FOR PROPOSED BUILDING

Civil Engineering  
 Land Surveying  
 Landscape Architecture  
**Jordan G. Brost, RLS #3009**  
 5709 Windy Drive, Suite D  
 Stevens Point, WI 54482  
 715.344.9999(PH) 715.344.9922(FX)



THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST  
AND DRAWN BY JORDAN BROST

FIELD BOOK GB 2 PAGE 33-36  
JOB # 15.401

SHEET 1 OF 1 SHEETS



