

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**March 3, 2015
3:30 PM**

AGENDA

3:30 PM – Public Hearing Regarding the Special Use Permit Application for 1233 Midway Road, Proposed Kwik Trip Convenience Store and Gas Station

3:35 PM – Public Hearing Regarding the Special Use Permit Application for 100 Main Street,

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the February 3, 2015 Plan Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

E. DISCUSSION

1. Lighting Standards for Residential Properties
2. [Comprehensive Plan Review – Rezoning of Parcel Immediately to the East 1233 Midway Rd From C-3 to C-4](#)

F. ACTION ITEMS

1. [Special Use Permit – 1233 Midway Road – Kwik Trip Convenience Store and Gas Station](#)
2. [Special Use Permit – 100 Main Street – AAK Holdings II](#)

G. ADJOURNMENT

**CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
February 3, 2015
DRAFT MINUTES**

A. CALL TO ORDER

The meeting was called to order at 3:41 PM by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes and Commissioners Sturm, DeCoster and Cruickshank.

PLAN COMMISSION MEMBERS EXCUSED: Ald. Kevin Benner, DPW Radtke and Comm. Schmidt

OTHERS PRESENT: CDD Keil, CDC Heim, Laurie Spiegel, Brand Schreiber and Agnes Stilp.

Public Hearing Regarding Proposed Rezoning of Property Located on the West Side of the 600 block of Racine Street – Parcel Numbers 1-00513-00 and 1-0514-00

Mayor Merkes opened the public hearing at 3:42 PM.

Agnes Stilp, 605 Racine Street, asked for clarification of the rezoning. CDD Keil explained the reason for the rezoning.

No one else spoke.

The hearing was closed at 3:50 PM.

Public Hearing Regarding Proposed Rezoning of Property Located Immediately East of 934 Plank Road – Parcel Number 5-00493-00.

Mayor Merkes opened the public hearing at 3:51 PM.

Laurie Spiegel, 943 Marquette Street, asked for clarification of the rezoning. She expressed concern for rezoning to C-1 and questioned why this lot was a main focus of the Plan Commission.

CDD Keil explained the history of the property and having the property rezoned from I-1 to C-1.

Comm. DeCoster asked for uses allowed in the C-1 district.

No one else spoke.

The hearing was closed at 4:04 PM.

C. MINUTES TO APPROVE

1. **Minutes of the January 20, 2015 Plan Commission Meeting**

Motion by Comm. DeCoster, seconded by Comm. Sturm to approve the January 20, 2015 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. **Lighting Standards for Residential Properties**

This item was held at the request of Ald. Benner.

F. ACTION ITEMS

1. **Proposed Rezoning of Property Located on the West Side of the 600 block of Racine Street – Parcel Numbers 1-00513-00 and 1-0514-00**

Motion by Comm. Decoster, seconded by Comm. Cruickshank to recommend the rezoning of property located on the west side of the 600 block of Racine Street, parcel numbers 1-00513-00 and 1-0514-00 from R-1 – Single Family Residence District to C-1 – General Commercial District. The motion carried.

2. **Proposed Rezoning of Property Located Immediately East of 934 Plank Road – Parcel Number 5-00493-00**

Commissioners discussed the following:

- Zoning of surrounding properties
- Presence of undocumented fill and related environmental concerns
- Possibility of rezoning the parcel to R-1 – Single Family Residential and the possibility if zoned R-1 that a development would not occur due to cost involved
- 2008 Comprehensive Plan recommends commercial zoning for the parcel

Motion by Comm. Sturm, seconded by Comm. Cruickshank to recommend the rezoning of the property located immediately east of 934 Plank Road, parcel number 5-00493-00 from I-1 – Heavy Industrial District to C-1 – General Commercial District. The motion carried.

3. **Remove from Table - Proposed Amendment to Title 13 of the Menasha Code of Ordinances Pertaining to Electronic Message Center Signage**

CDD Keil explained the ordinance amendment that now includes:

- Consistent application of electronic message center (EMC) standards within all zoning districts where they are permitted
- Established 300 feet as the trigger for a Special Use Permit which is an increase from the current standard of 200 feet
- The electronic message center may only be placed in the lower one half of the sign

Brief discussion was held whether color restrictions on electronic message signs were contained in the current ordinance. The ordinance states that an electronic message center is limited to one color.

Motion by Comm. DeCoster, seconded by Comm. Cruickshank to recommend the proposed amendment to Section 13-1-67 pertaining to Electronic Message Center Signage. The motion carried.

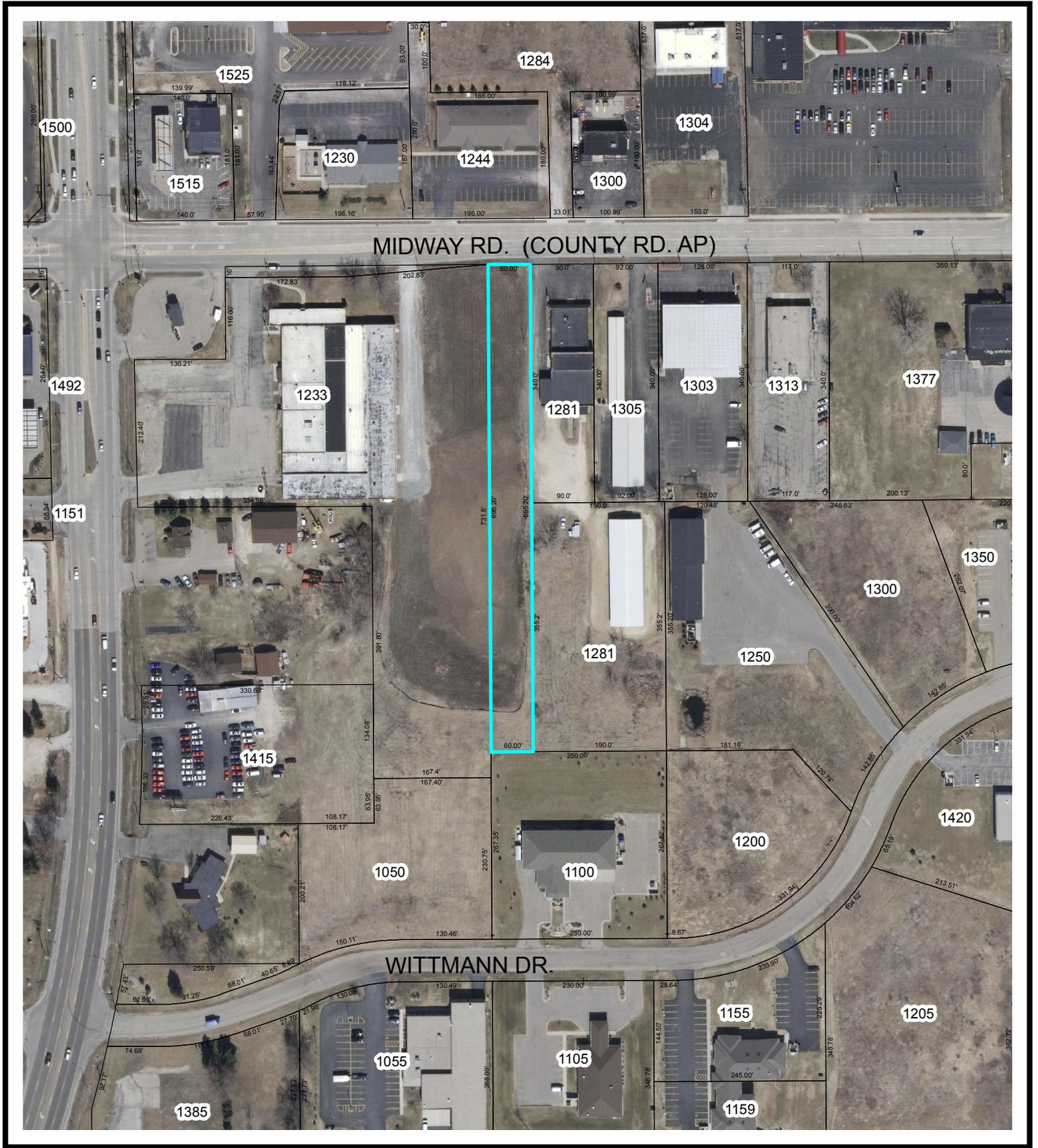
4. **Extraterritorial Certified Survey Map (CSM) Review – Racine Road and Century Oaks Drive, Town of Menasha**

CDD Keil gave an explanation of an Extraterritorial Certified Survey Map and reviewed the role of the Plan Commission with regards to extraterritorial plats. Commissioners had no concerns regarding this CSM.

Motion by Comm. DeCoster, seconded by Comm. Strum to recommend approval the Extraterritorial Certified Survey Map at Racine Road and Century Oaks Drive in the Town of Menasha. The motion carried.

H. ADJOURNMENT

Motion by Comm. Cruickshank, seconded by Comm. DeCoster, to adjourn at 4:29 PM. The motion carried.



Proposed Rezoning from C-3 Business & Office District to C-4 Business Park District

Legend

Parcel Proposed for Rezoning:
Parcel ID# 6-01635-00



City of Menasha
SPECIAL ZONING APPROVAL

Owner Kwik Trip, Inc Case or Plan No. _____

Address 1626 Oak St La Crosse, WI Fee \$350.00

Applicant (if different than Owner) Kwik Trip, Inc - Jeff Osgood

Address 1626 Oak St La Crosse, WI

Zoning C-4 Parcel Number(s) 113287K & 113458K

6-01652-00

PLEASE INDICATE WHICH REQUEST IS BEING MADE

Rezoning

Special Use

Flood Plain Map
Amendment

Appeal or Variance

PUD Plan Approval

Description of Request: We are requesting the construction of a Convenience Store w/ Fueling Canopy, a separate Diesel Fueling Canopy, and a 2-Bay Carwash which are all special uses within the current zoning.

Owner/Agent _____

Jeff W. Osgood

Signature

(If applicable)

Formal Hearing

March 16, 2015

Informal Hearing

March 3, 2015

Notice Mailed

February 19, 2015

Notice Mailed

February 19, 2015

Notice Mailed

Action Taken: _____

20__

APPROVED

DENIED

Conditions (if any): _____



February 19, 2015

RE: Special Use Permit Application for 1233 Midway Road

Dear Property Owner:

Kwik Trip, Inc. has applied for a Special Use Permit for Parcel Number 6-01652-00 located at 1233 Midway Road. The property owner has requested the Special Use Permit in order to construct a convenience store with fueling canopy, diesel fueling canopy and a 2-bay car wash. The subject site is zoned C-4 Business Park District which requires a Special Use Permit for retail uses per Sec. 13-1-37(c)(4) of the City of Menasha Code of Ordinances.

The City of Menasha Plan Commission will hold a public hearing on the proposed Special Use Permit on Tuesday, March 3, 2015 at 3:30 p.m. or shortly thereafter in the City Hall Council Chambers located at 140 Main Street, Menasha.

The City of Menasha Common Council will hold a public hearing on the proposed Special Use Permit on Monday, March 16, 2015 at 6:00 p.m. or shortly thereafter in the City Hall Council Chambers, 140 Main Street, Menasha.

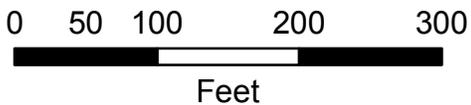
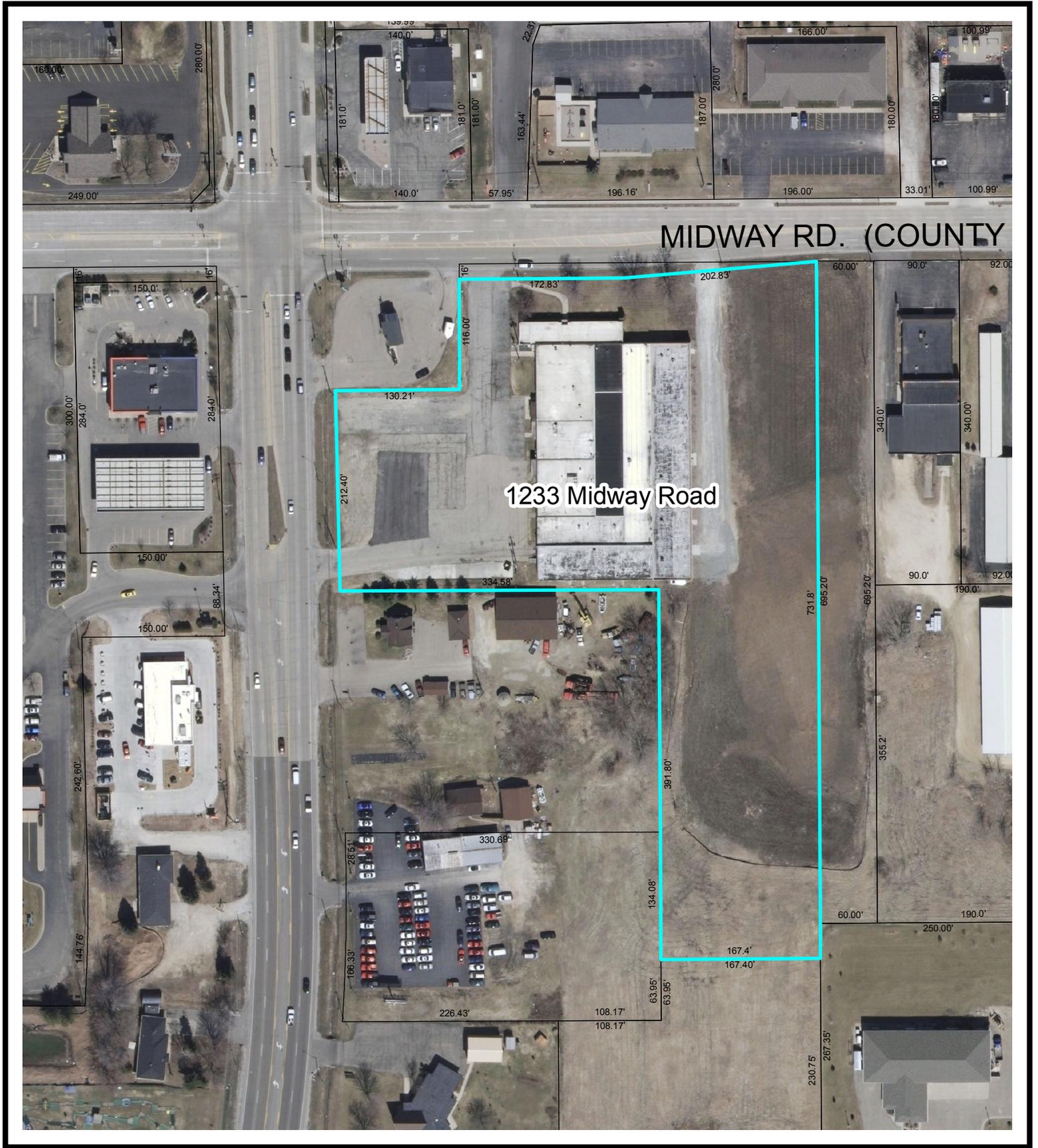
A copy of the Public Hearing Notice is attached along a map identifying the location of the property.

Persons interested in this matter will be given an opportunity to comment on the request; written comments will also be considered. You are receiving this notice because you own property within one hundred (100) feet of the proposed special use. If you have any questions, please contact me.

Sincerely,

Kristi Heim
Community Development Coordinator

C: Plan Commission
City Clerk Galeazzi



Special Use Permit Location Proposed Kwik Trip 1233 Midway Road

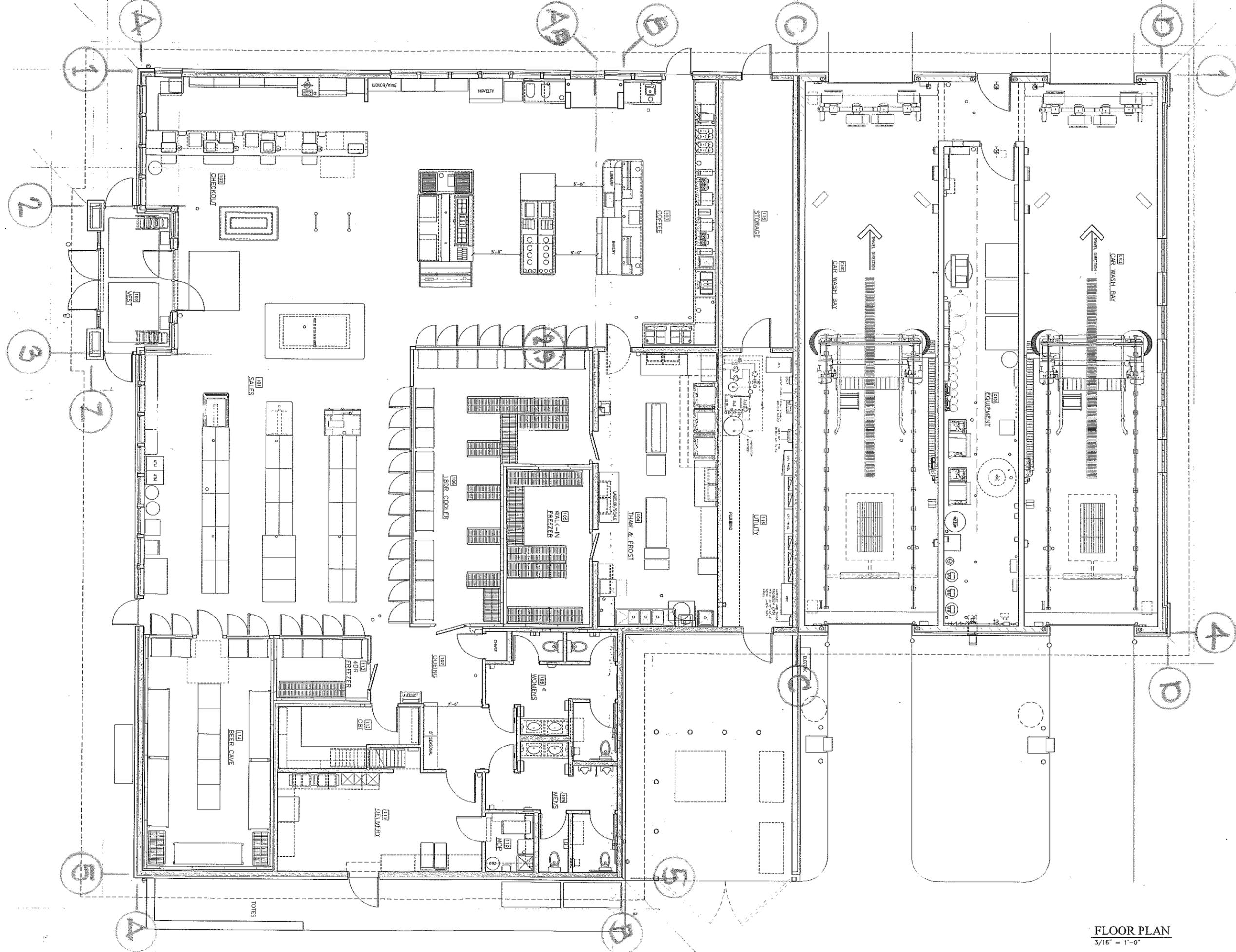
Parcel Number: 6-01652-00

**City of Menasha
Public Hearings**

NOTICE IS HEREBY GIVEN that public hearings will be held by the Menasha Plan Commission and Common Council on an application for a Special Use Permit by Kwik Trip, Inc. to construct a convenience store with fueling canopy, diesel fueling canopy and a 2-bay car wash at 1233 Midway Road, which includes Parcel Number 6-01652-00, City of Menasha, Winnebago County, Wisconsin. The subject site is zoned C-4 Business Park District and requires a Special Use Permit for retail uses per Sec. 13-1-37(c)(4) of the City of Menasha Code of Ordinances. The Plan Commission will hold its public hearing on Tuesday, March 3, 2015 at 3:30 PM, or shortly thereafter, in the Council Chambers of Menasha City Hall located at 140 Main Street, Menasha, WI. The Common Council will hold its public hearing on this matter at 6:00 PM, or shortly thereafter, on Monday, March 16, 2016 at the same location. All persons interested in commenting on the application for this Special Use Permit are invited to attend.

Deborah A. Galeazzi, WCMC
City Clerk

Run: February 24 and March 8, 2015.



LARSON
 ARCHITECT
 200 Mason Street #3
 Onalaska, WI 54650
 (608) 784 - 6808
 info@larsonarchitect.com



STORE #XXX
 ADDRESS
 TOWN, STATE
**LH WI COMBO
 PROTOTYPE**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the state of WISCONSIN.
Tom Larson 6/10-11/10
 A100, A101, A102, A103, A104, A105, A106, A107, A108, A109, A110, A111, A112, A113, A114, A115, A116, A117, A118, A119, A120, A121, A122, A123, A124, A125, A126, A127, A128, A129, A130, A131, A132, A133, A134, A135, A136, A137, A138, A139, A140, A141, A142, A143, A144, A145, A146, A147, A148, A149, A150, A151, A152, A153, A154, A155, A156, A157, A158, A159, A160, A161, A162, A163, A164, A165, A166, A167, A168, A169, A170, A171, A172, A173, A174, A175, A176, A177, A178, A179, A180, A181, A182, A183, A184, A185, A186, A187, A188, A189, A190, A191, A192, A193, A194, A195, A196, A197, A198, A199, A200, A201, A202, A203, A204, A205, A206, A207, A208, A209, A210, A211, A212, A213, A214, A215, A216, A217, A218, A219, A220, A221, A222, A223, A224, A225, A226, A227, A228, A229, A230, A231, A232, A233, A234, A235, A236, A237, A238, A239, A240, A241, A242, A243, A244, A245, A246, A247, A248, A249, A250, A251, A252, A253, A254, A255, A256, A257, A258, A259, A260, A261, A262, A263, A264, A265, 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Revised: _____
 Issued for: APPROVAL
 Date: OCT 22, 14
 Checked: TPL
 Drawn: _____

FLOOR PLAN
 3/16" = 1'-0"

A110B



LEFT ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
3/16" = 1'-0"



BACK ELEVATION
3/16" = 1'-0"



LH WI COMBO
PROTOTYPE



FRONT ELEVATION
3/16" = 1'-0"

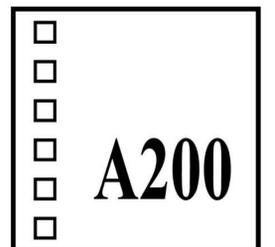


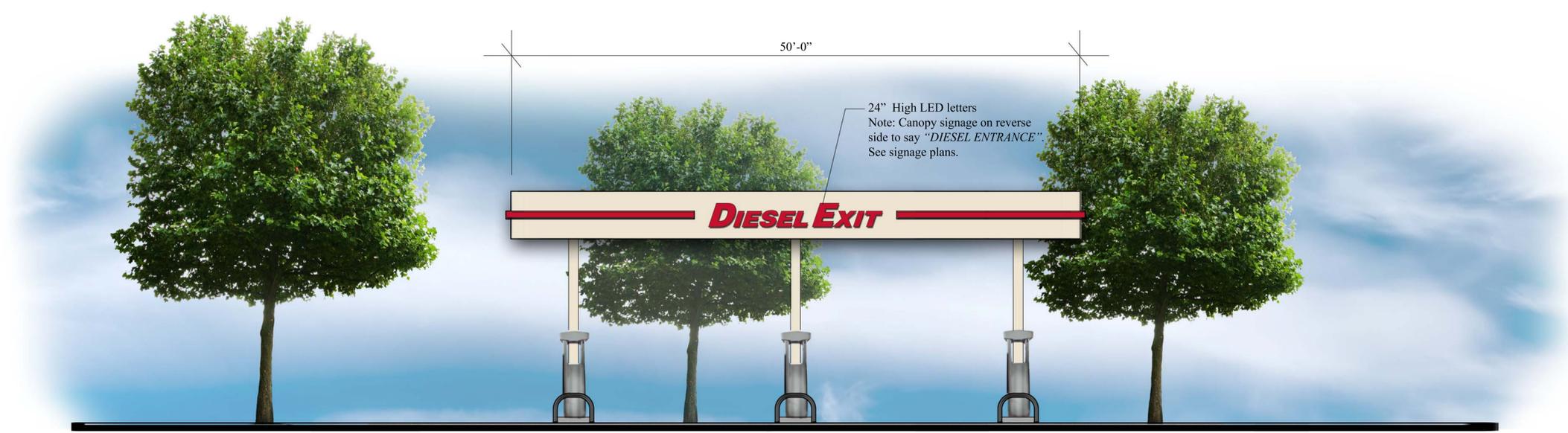
SIDE ELEVATION
3/16" = 1'-0"



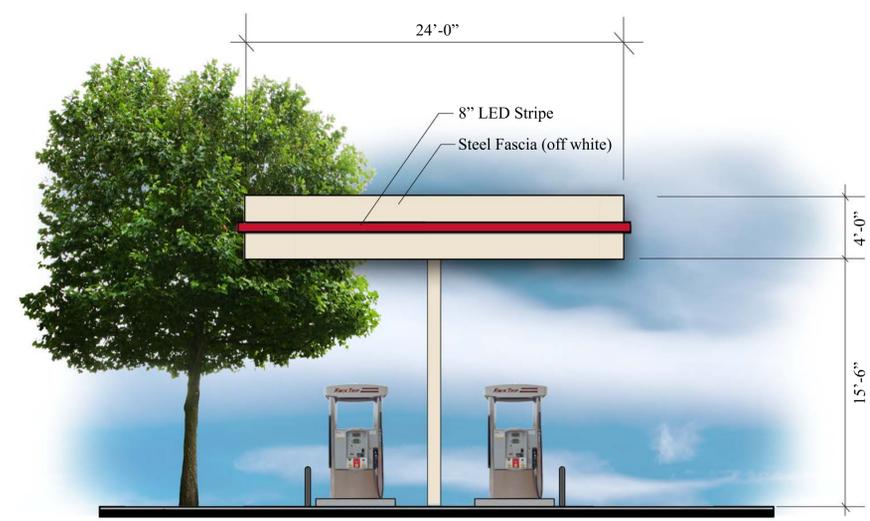
Flat Canopy

10 MPD





FRONT ELEVATION
3/16" = 1'-0"

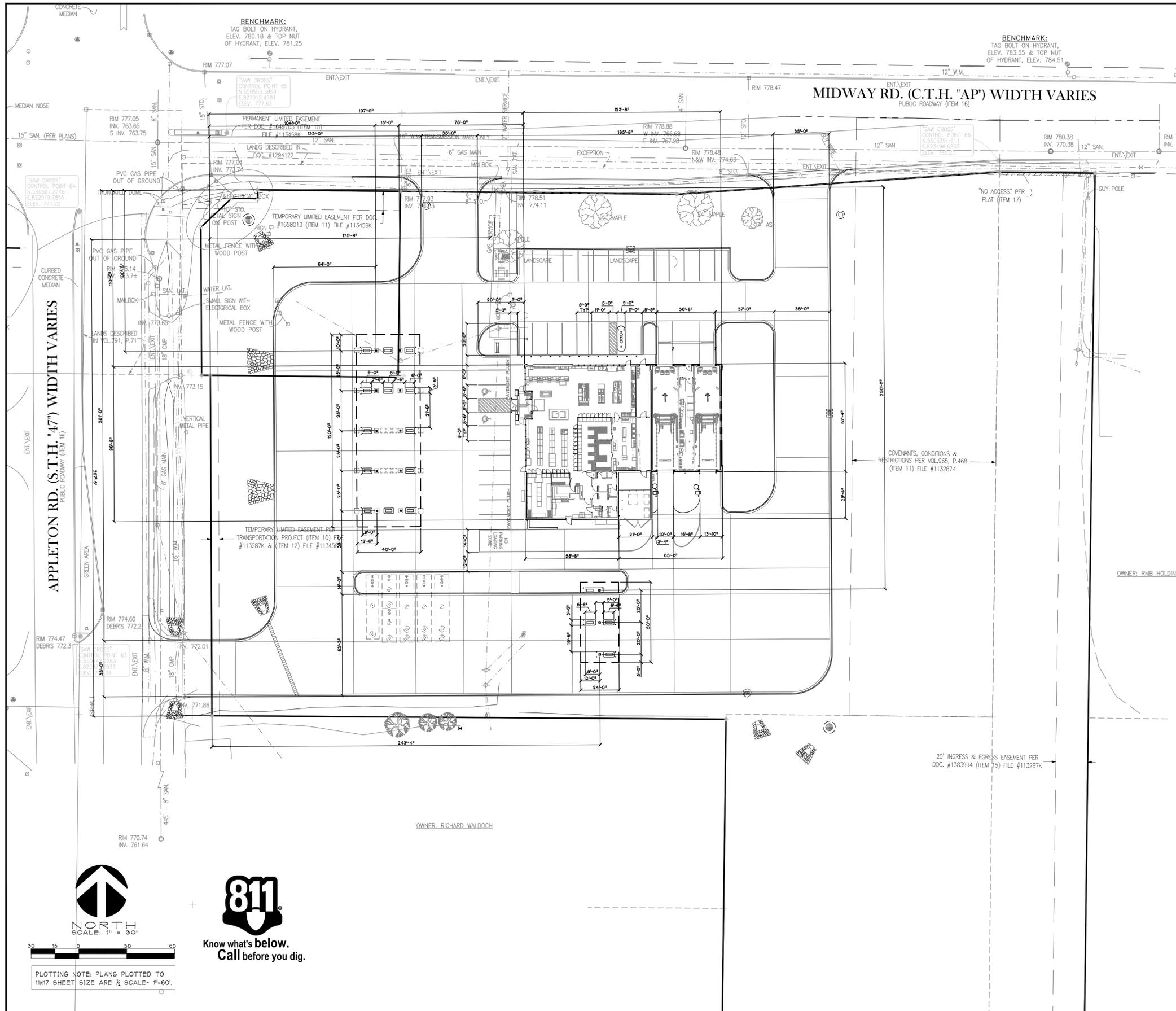


SIDE ELEVATION
3/16" = 1'-0"



Flat Canopy

2-Lane Diesel



CONSTRUCTION NOTE:

Construction fencing to be installed around entire construction site. Coordinate with owner for fencing and gate locations and appropriate signage installation.

LAYOUT NOTES:

1. PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY: CAROW LAND SURVEYING INC 920-731-4168 DATED 09-04-2014
2. CURBS ARE DIMENSIONED TO FACE OF CURB.
3. CONVENIENCE STORE, CAR WASH AND ISLAND COMPLEXES ARE LOCATED FROM THE SOUTHWEST PROPERTY CORNER AND ALIGNED PARALLEL/ PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS OTHERWISE INDICATED ON THIS PLAN.
4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES. CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24' O.C.
5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER: APR 15- OCT 31 USE: TK-26GV NOV 1- DEC 31 USE: TK-290
7. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SL1

SITE DATA:

ZONING DISTRICT:	C3
TOTAL SITE AREA-TOTAL:	269,825 SF
EX. IMPERVIOUS:	-
EX. PERVIOUS:	-
PARKING REQUIREMENTS	-
PARKING REQUIRED	30 STALLS
PARKING PROVIDED	20 SRV. FN.TS, 2 DIESEL
BUILDING HEIGHTS	-
CONVENIENCE STORE	23.5'
CAR WASH	14'
CANOPY	20.0'
BUILDING SETBACKS	-
FRONT	25/ 10'
SIDE	10'
REAR	25/ 10'

PROPOSED LOT GREEN AREA:	175,345 SF	65%
PROPOSED HARD COVER:	94,480 SF	35%
PAVED AREA:	84,335 SF	31%
BUILDING AREA:	10,145 SF	4%



KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



SITE PLAN

CONVENIENCE STORE 297

MENASHA, WISCONSIN

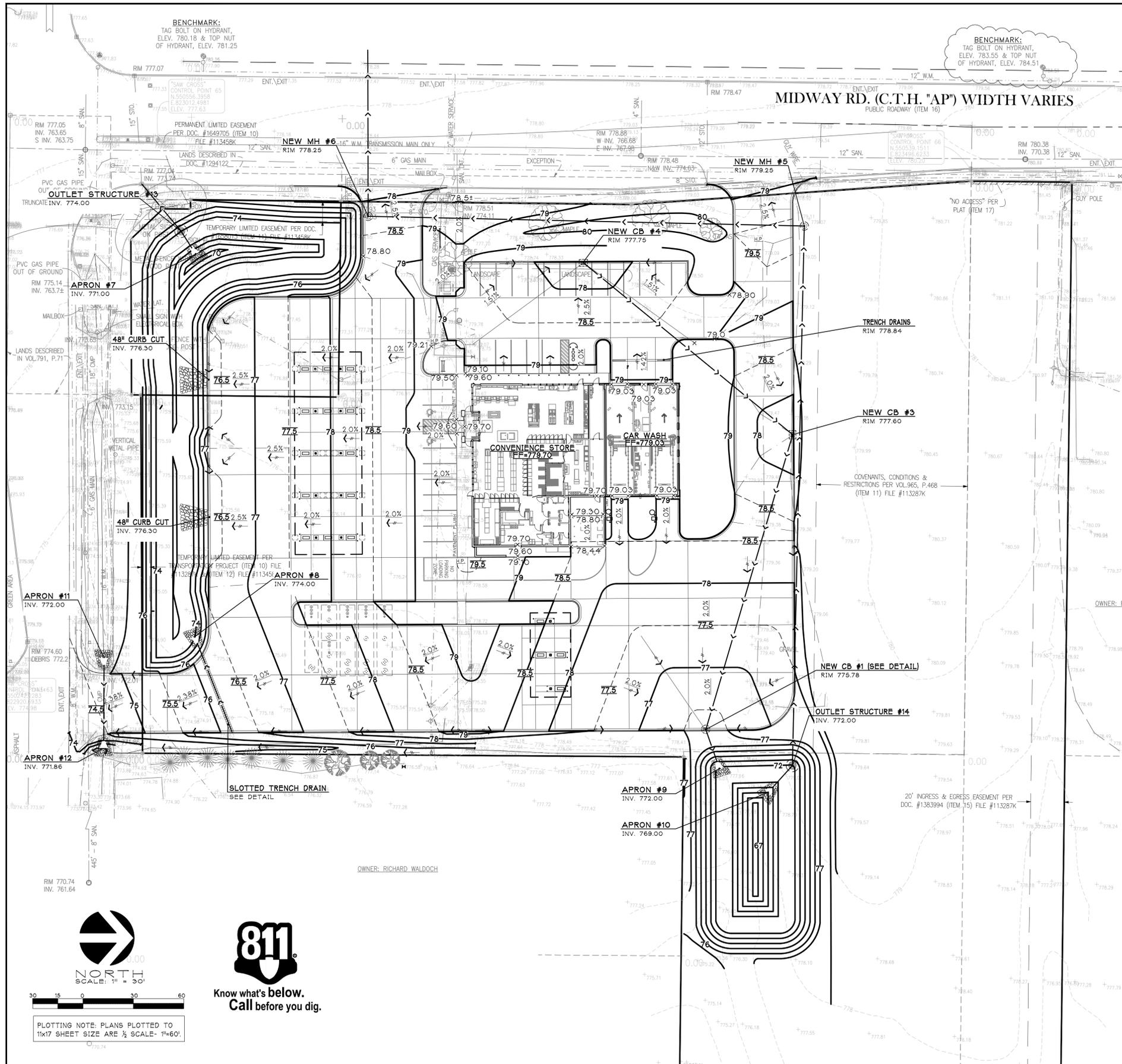
NO.	DATE	DESCRIPTION

DRAWN BY: _____
SCALE: _____ GRAPHIC
PROJ. NO.: 14297
DATE: 2014 10-20
SHEET: **SP1**

811
Know what's below.
Call before you dig.

Plotting Note: Plans plotted to 1/4" = 1'-0" scale. 1/4" = 60'.

INSITES 14-030



NOTE: CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

NOTE:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM ALTA/ACSM LAND TITLE SURVEY BY:
CAROW LANDSURVEYING CO., INC.
615 N. LYNNDALE DRIVE
APPLETON, WI 54912-1297
920-731-4168

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

BENCHMARK:

TAG BOLT ON HYDRANT N.E. OF SITE ACROSS MIDWAY RD.
ELEVATION = 783.55
AND TOP NUT OF HYDRANT
ELEVATION = 784.51

FINISHED FLOOR ELEVATIONS

PROPOSED KWIK TRIP CONVENIENCE STORE
FINISHED FLOOR ELEVATION = 779.70 FEET

PROPOSED CAR WASH
FINISHED FLOOR ELEVATION = 779.03 FEET

NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



STORES



STORES

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INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
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Plymouth, Minnesota 55447
763.383.8400
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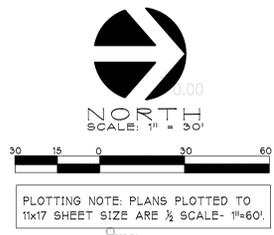
GRADE PLAN

CONVENIENCE STORE 297

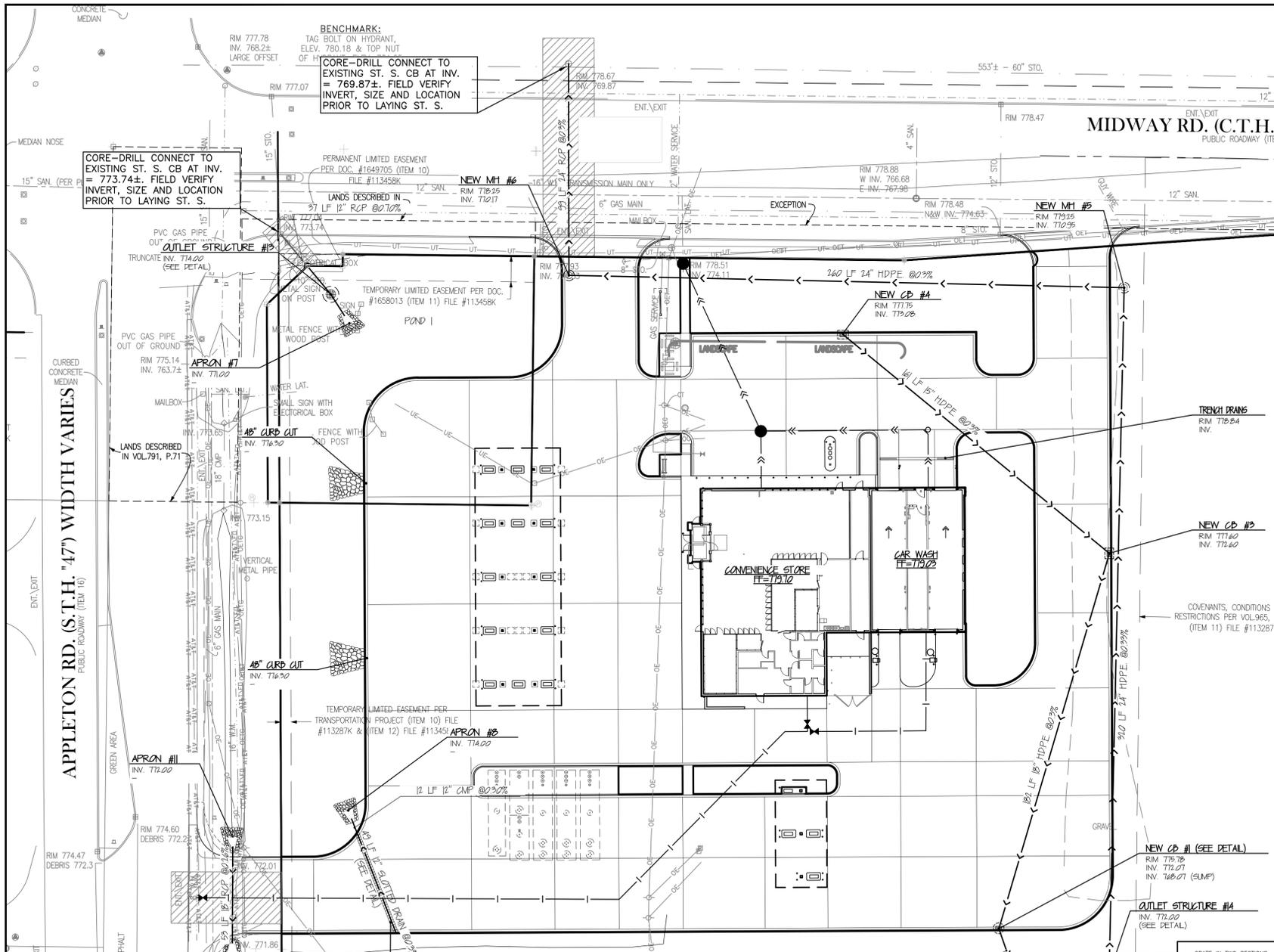
MENASHA, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY: _____
SCALE: GRAPHIC
PROJ. NO.: 14297
DATE: 2014-10-20
SHEET: **SP2**



INSITES 14-030

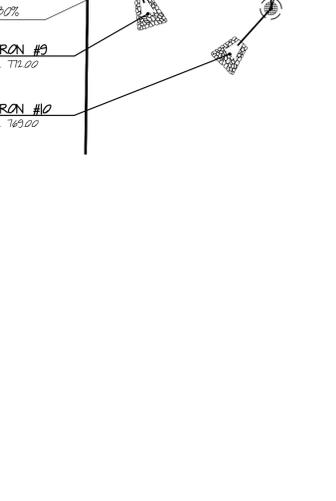
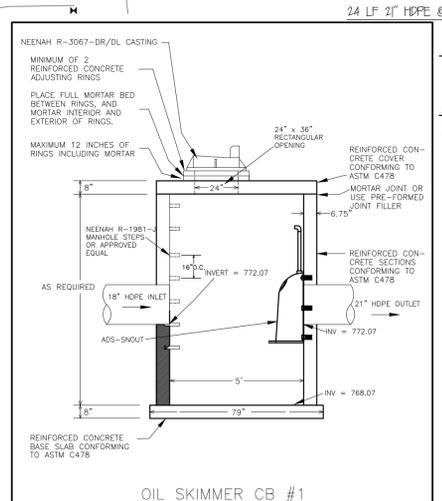
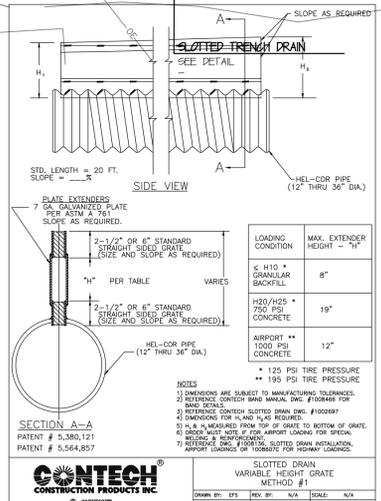
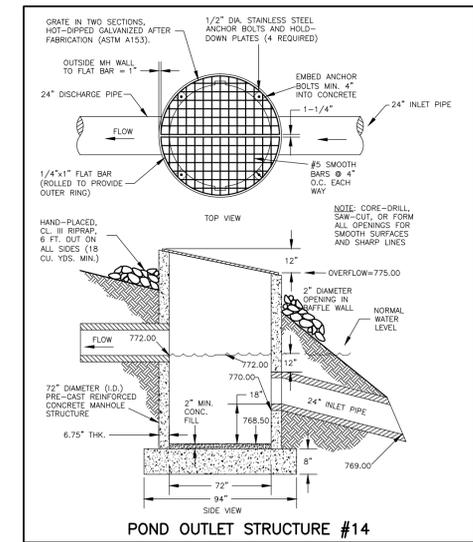
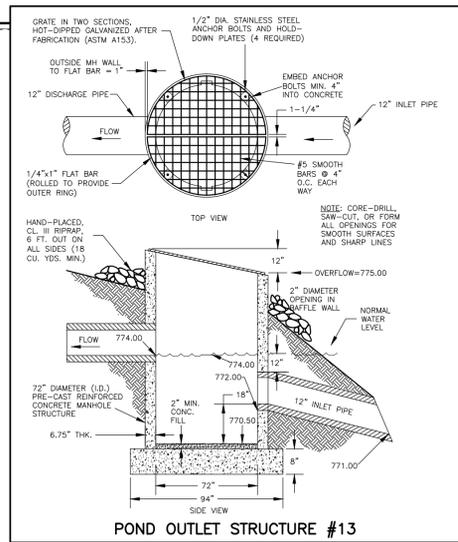


STORM DRAINAGE:

- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C923. The inside barrel diameter shall not be less than 48 inches.
- All joints and connections to catchbasins or manholes shall be watertight. Use resilient rubber seals, waterstop gaskets, or approved equal. Cement mortar joints are not allowed.
- Install catchbasin castings with specified top elevation at the front rim.
- PVC Pipe:** Use solid-core, SDR-35, ASTM D3034 Polyvinyl Chloride (PVC) Pipe for designated PVC storm sewer services 4 to 15-inches in diameter. Use solid-core, SDR-35, ASTM F679 Polyvinyl Chloride (PVC) pipe for designated PVC storm sewer services 18 to 27-inches in diameter. Joints for all storm sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
- RCP:** Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be Bureau of Reclamation type R-4, with confined rubber "O"-ring gaskets in accordance with ASTM C361.
- RC Aprons:** Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to depth upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes. Install safety-trash racks on all concrete aprons.
- Testing:** Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Use Neenah R-3067-DR/DL casting with curb box, or approved equal, on CB #1, CB #3 and CB #4.
- Use Neenah Foundry Co. R-1642 casting with self-sealing, solid, type B lid, or approved equal, on all storm sewer maintenance holes. Covers shall bear the "Storm Sewer" label.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install blue Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.
- TRACER WIRE:** Locating requirements - a means to locate buried underground exterior non metallic sewers/main lines shall be provided with tracer wire or other methods in order to be located in accord with the provisions of these code sections as per 182.0715(2) of the statutes.
- The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
- Cleanouts:** Install cleanouts on all roof drains in accordance with S.P.S. 382.35 (3)(C)(1). The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 10-inches and under in size. Cleanouts shall be of the same nominal size as the pipes they serve. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts.
- Line ponds with 2" thick clay liner per detail.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.

HDPE REQUIREMENTS:

- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan.
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter.
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 for pipe sizes 12-inch to 60-inch diameter.
- All fittings must comply with ASTM Standard D3212.
- Water-tight joints must be used at all connections including structures.**
- Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water tight joints.
- Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.



PLOTTING NOTE: PLANS PLOTTED TO Ix17 SHEET SIZE ARE 1/4" SCALE - T=60.

CONTECH
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KWIK TRIP STORES

KWIK STAR STORES

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Sunde Engineering, PLLC
CONSULTING CIVIL ENGINEERS

BRIAN H. MUNDSTOCK
REGISTERED PROFESSIONAL ENGINEER
STATE OF WISCONSIN
No. 100000

STORM SEWER PLAN

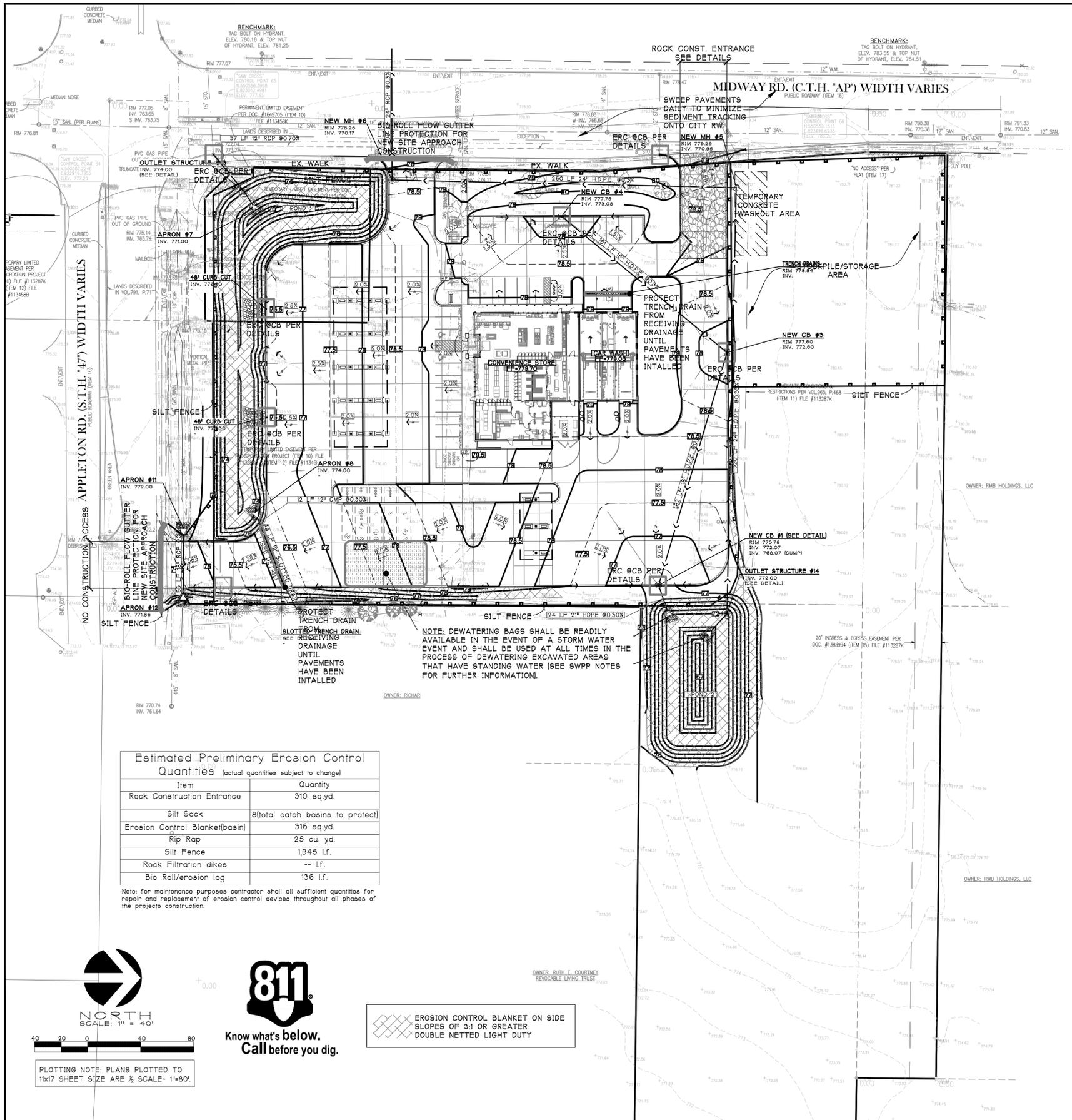
CONVENIENCE STORE 297

MENASHA, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY: _____
SCALE: GRAPHIC
PROJ. NO.: 14297
DATE: 2014-10-09
SHEET: _____

SP3



-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWPPP-2-4 FOR MORE INFORMATION.

CONTACT BRAD FRY
 KWIK TRIP, INC.
 PO BOX 2107
 LACROSSE, WI 54602
 608-783-8020

CONSTRUCTION SEQUENCE	PROJECT DATA
*INSTALL EROSION/SEDIMENT CONTROL MEASURES	PROJECT START DATE: APRIL 2015
*INSTALL STORMWATER MANAGEMENT	PROJECT COMPLETION DATE: APRIL 2016
*INSTALL STORM SEWER	SITE AREA DATA
*INSTALL PAVEMENTS	TOTAL SITE AREA: 271,628 SF
*INSTALL LAWN/LANDSCAPE	PRE-CONSTRUCTION IMPERVIOUS AREA: 102,176 SF
*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED	POST-CONSTRUCTION IMPERVIOUS AREA: 208,700 SF
	APPROX. AREA OF LAND DISTURBANCE: 100%
	SITE RUNOFF COEFFICIENT
	PRE-CONSTRUCTION: 83
	POST-CONSTRUCTION: 92
	SOIL DATA
	SURFACE SOIL: Neenah siltly clay loam
	SUB-SURFACE SOIL: Winneconne siltly clay loam
	DEPTH OF GROUND WATER: --FT
	DOWN-STREAM TRIBUTARY: Little Lake Butte des Morts

Item	Quantity
Rock Construction Entrance	310 sq.yd.
Silt Sack	8(total catch basins to protect)
Erosion Control Blanket(basin)	316 sq.yd.
Rip Rap	25 cu. yd.
Silt Fence	1,945 l.f.
Rock Filtration dikes	-- l.f.
Bio Roll/erosion log	136 l.f.

Note: for maintenance purposes contractor shall all sufficient quantities for repair and replacement of erosion control devices throughout all phases of the projects construction.

NOTE: DEWATERING BAGS SHALL BE READILY AVAILABLE IN THE EVENT OF A STORM WATER EVENT AND SHALL BE USED AT ALL TIMES IN THE PROCESS OF DEWATERING EXCAVATED AREAS THAT HAVE STANDING WATER (SEE SWPP NOTES FOR FURTHER INFORMATION).

Universal Soil Loss Equation for Construction Sites
 for use in the State of Wisconsin

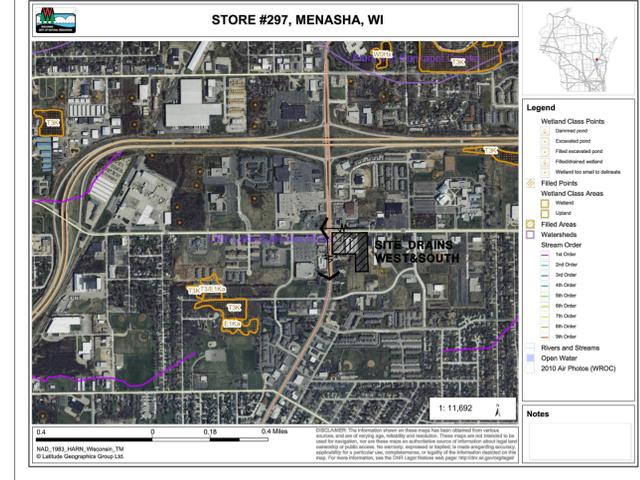
Wisconsin.commerce.wi.gov

Developer: Kwik Trip #297
 Project: Menasha WI
 Date: 10/21/2014
 County: Winnebago

Land Disturbing Activity	Begin Date	End Date	Period % R	Annual R	Sub Soil Texture	Soil Erosibility K Factor	Slope (%)	Slope Length (feet)	LS Factor	Land Cover C Factor	Soil loss A _r (t/acre/yr)(tons/acre)	Percent Reduction Required	
Bare Ground	4/1/2015	9/1/2015	75.0%	110	Silty Clay Loam	0.43	3.5%	677	0.74	1.00	26.8	88 tons/acre 7.5 tons/acre	
Seed and Mch	9/1/2015	4/1/2016	24.1%	110	Silty Clay Loam	0.43	3.5%	677	0.74	0.12	1.0		
End	4/1/2016												
TOTAL											27.8	82%	73%

Land Disturbing Activities: Input: Bare Ground, Seed and Mch, Seedling, Soil, End. Definition: activity which leaves the ground devoid of vegetation, application of straw at 1.5 tons/acre with or without seeding, temporary or permanent seeding without the use of mulching materials, installation of soil, end of 40 day cover establishment or permanent stabilization (required input). If additional practices are needed for 1 acre or more disturbed ("A" all that apply): 1. No bare soil (standard), 2. Seed & mulch within 1 week of disturbance, 3. Erosion control mat per standard, 4. "A" in the blue box is required to meet or "TOTAL" row, 5. No additional practices needed to comply with soil loss standard.

Notes: Designed By: _____, Checked By: _____, Date: _____.



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 3030 Harbor Lane North, Ste. 131
 Plymouth, Minnesota 55447
 763.383.8400
 (651) 761.1811

ROBERT J. MUELLER
 L.A.S.T. IN.
 WISCONSIN
 2014 10-20

EROSION CONTROL PLAN

CONVENIENCE STORE 297

MENASHA, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY: _____
 SCALE: GRAPHIC
 PROJ. NO.: 14297
 DATE: 2014 10-20
 SHEET: SWP1

811
 Know what's below.
 Call before you dig.

NORTH
 SCALE: 1" = 40'

40 20 0 20 40 80

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2 SCALE- 1"=80'

EROSION CONTROL BLANKET ON SIDE SLOPES OF 3/1 OR GREATER DOUBLE NETTED LIGHT DUTY

INSITES 14-030

GENERAL STORMWATER POLLUTION PREVENTION :

Apply for and obtain all necessary permits for Construction Activity.

Stormwater Pollution Prevention Plan (SWPPP): The SWPPP includes this narrative, Plan Sheets SP3, SP3.1 and SP3.2, and the Stormwater Management Calculations. Keep a copy of the SWPPP, all changes to it, and inspections and maintenance records at the site during the construction. During the construction process the SWPPP will have to be amended for all changes performed by the contractor. The owner shall be aware of the amendments prior to changes made to the SWPPP plan. All notes, photographs, recorded data, sketches, references, and diagrams will have to be recorded and made available as part of the SWPPP permit.

Individual(s) preparing the SWPPP for the project, overseeing implementation of the SWPPP, revising and amending the SWPPP, and at least one individual on the project performing installation, inspection, maintenance, and repairs of BMPs must be trained. The training must be done by a local, state, federal agency, professional organization, or other entities with expertise in erosion prevention, sediment control, or permanent Stormwater management.

Responsible Parties: The contractor must designate a person knowledgeable and experienced in the application of erosion prevention and sediment control BMPs who will oversee the implementation of the SWPPP, and the installation, inspection, and maintenance of the erosion prevention and sediment control BMPs before and during construction.

The owner is responsible for identifying who will have responsibility for the long term operation and maintenance of the permanent stormwater management systems.

Owner contact:

Name: Brad Fry
Company: Kwik Trip Inc.
Address: Kwik Trip, Inc. - Store Engineering
1626 Oak Street, P.O. Box 2107
La Crosse, WI 54601-2107
Telephone: (608) 783-8020

SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION :

- 1. Prior to any work, contractor shall visit the site, document existing conditions as necessary (photos, notes, etc) and note existing drainage patterns on and off site that are related to the project. These notes shall be part of the SWPP.
2. Install all temporary erosion and sediment control measures including silt fence, rock construction entrances, erosion control berms, rock filters, silt socks, rock leathr berms, and sedimentation basins.
3. Prior to beginning site clearing and grading, protect all storm sewer inlets that receive runoff from disturbed areas.
4. Before beginning construction, install a TEMPORARY ROCK CONSTRUCTION ENTRANCE at each point where vehicles exit the construction site.
5. Avoid entire removal of trees and surface vegetation all at once whenever possible as this limits the amount of site susceptible to erosion.
6. Following initial soil disturbance or redistribution, complete permanent or temporary stabilization against erosion due to rain, wind, and running water within 7 calendar days on all disturbed or graded areas.
7. Receiving Waters - It is the contractors responsibility to inspect the site discharge point as well as downstream to the receiving body of water (pond, lake, stream, etc) on a regular basis including after each storm event and document if any differences or changes in normal in discharge and if material is leaving the construction site.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

POLLUTION CONTROL :

- 1. Designate a Concrete Wash-out and truck wash area.
a. When washouts occur on the site, concrete washout water must be contained in a leak-proof containment facility or impermeable liner.
b. On sites where Concrete Washout areas are not feasible as shown on the Detail Sheet, above ground methods and/or off-site methods can be utilized as approved by Owner.
c. Concrete washout may be provided off-site by Concrete Contractor or Concrete Supplier, at an approved washout disposal area.
d. Limit external washing of trucks and other construction vehicles to a defined area preferably before the construction access/exit point.
2. Solid Waste: Properly dispose of collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris, and other wastes in compliance with State requirements.
3. Hazardous Materials: Properly dispose of all waste and unused building materials (including garbage debris, cleaning wastes, oil, gasoline, paint, wastewater, toxic materials, and hazardous materials) off-site.
4. Machinery: and mechanized equipment that leaks waste shall have a protective barrier or containment under the device adequate to contain the waste.
5. Emergency spill station: Contractor shall locate and sign an emergency spill station that has necessary containment or cleanup devices for all workers to access.

EROSION CONTROL :

Apply necessary moisture to the construction area and haul roads to prevent the spread of dust.

Contractor shall utilize coarsely ground wood and tree mulches to cover exposed soils. Mulches shall be applied on site to supplement and use in problem areas during all phases of the construction project.

Contractor shall use straw tack or other organic substances in situations to prevent soil from eroding away by wind or rain.

Whenever possible contractor shall grade areas of soil to limit potential of erosion, to include tracking perpendicular to fall line of grades as well as diverting water flows from problematic areas on the site.

Seeding, fiber blankets, poly/tarps or cover mulches, disked mulches and compost can be used to cover temporarily exposed areas from wind and rain. Other methods by the contractor shall be documented in the SWPP.

SEDIMENT CONTROL :

Inlet Sediment Control Protection Devices: The following are approved Inlet Sediment Control Devices:

- a. Road Drain Top Slab Model RD 23 (fits rough opening for 2x3' inlet), Road Drain Top Slab Model RD 27 (fits rough opening for 2' inlet), or Road Drain Top Slab Model CG 3067 (fits Neenah Casting with 35-1/4"x17-3/4" dimensional manufactured by WIMCO, 799 Thies Drive, Shakopee, MN, 55379, Phone (952) 235-3059. or approved equal.
b. Silt Sock manufactured by ACF ENVIRONMENTAL, 2831 Carwell Road, Richmond, VA, 23254, Phone (800) 448-3636. or approved equal
c. InfraSafe Sediment Control Barrier. Install geotextile sock on the outside of the barrier in order to trap additional fines. Standard frames are available to fit 24" to 30" diameter and 2x3' openings. Distributed by ROYAL ENTERPRISES AMERICA, 30622 Forest Boulevard, Stacy, MN, 55079, Phone (651) 462-2130. or approved equal
d. Ridge Bog Rock Log. Use rock logs only for curb inlets after pavement is in place. Manufactured by RED BARN RIDGE, 3155 County Road 136, Saint Cloud, MN, 55301, Phone (320) 253-3744. or approved equal
e. Inflatable drain plug by Interstate Products www.interstateproducts.com or approved equal

Riprap:

Place a 450 mm (18 inch) thick layer of riprap onto a 225 mm (9 inch) thick layer of granular filter material at locations indicated on the plan in accordance with WIDOT Specification 606. Install two layers of medium duty Geotextile fabric (WIDOT HR, section 645-3.7) beneath the granular filter material. At pipe outfalls configure the installation as shown on detail sheet for the size of pipe indicated and extend the geotextile fabric under the culvert apron a minimum of 3 feet. For pipe sizes smaller than 300 mm (12 inch) diameter, the minimum quantity of riprap and filter blanket shall be no less than that required for 300 mm (12 inch) diameter pipes.

Silt Fence:

Install and maintain per WIDNR Conservation Practice Standard 1056.

Install silt fence along the contour (on a level horizontal plane) with the ends turned up (J-hooks) in order to help pond water behind the fence. Install the silt fence on the uphill side of the support posts. Provide a post spacing of 12 m (4 feet) or less. Drive posts at least 0.6 m (2 feet) into the ground. Anchor the silt fence fabric in a trench at least 152 mm (6 inches) deep and 152 mm (6 inches) wide dug on the upslope side of the support posts. Lay the fabric in the trench and then backfill and compact with a vibratory plate compactor. Make any splices in the fabric at a fence post. At splices, overlap the fabric at least 152 mm (6 inches), fold it over, and securely fasten it to the fence post. Silt fence supporting posts shall be 51 mm (2 inch) square or larger hardwood, pine, or standard T- or U-section steel posts. T- or U-section steel posts shall weigh not less than 1.8602 kg per meter (125 lb per lined foot). Posts shall have a minimum length of 1524 mm (5 feet). Posts shall have projections to facilitate fastening the fabric and prevent slippage. Geotextile fabric shall meet the requirements of WIDOT Standard Specification 628 for pre-assembled silt fence, furnished in a continuous roll in order to avoid splices. Geotextile fabric shall be uniform in texture and appearance and have no defects, flaws, or tears. The fabric shall contain sufficient ultraviolet (UV) ray inhibitor and stabilizers to provide a minimum two-year service life outdoors. Fabric color shall be international orange. In high traffic areas contractor shall reinforce silt fence with wire fencing and metal posts. Extreme circumstances will require temporary concrete median sections to support material backing of stock piled soil or filled earth.

Install siltfence, or other effective sediment controls, around all temporary soil stockpiles. Locate soil or dirt stockpiles containing more than 10 cubic yards of material such that the downslope drainage length is no less than 8 m (25 feet) from the toe of the pile to a roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt fence barriers around the piles. During street repair, cover construction soil or dirt stockpiles located closer than 8 m (25 feet) to a roadway or drainage channel with tarps, and protect storm sewer inlets with silt socks or stacked siltfence. Do not stack pile soil or material near catch basins or drainage ways.

Stone Tracking Pad (Temporary Rock Construction Entrance):

Install and maintain per WIDNR Conservation Practice Standard 1057. Use 3/4 inch to 6 inch diameter rock. Place the aggregate in a layer at least 300 mm (12 inches) thick across the entire width of the entrance. Extend the rock entrance at least 15 m (50 feet) into the construction zone. Use a WIDOT Type R permeable geotextile fabric material beneath the aggregate in order to prevent migration of soil into the rock from below. Maintain the entrance in a condition that will prevent tracking or flowing of sediment onto paved roadways. Provide periodic top dressing with additional stone as required. Close entrances not protected by temporary rock construction entrances to all construction traffic.

Temporary Sediment Basins:

In the construction process or if noted on the plan the contractor shall construct temporary sediment basins. As per general rule the sediment basin shall be sized appropriately to a capacity related to the drainage area on a ratio of 3,600 cubic feet per acre of drainage zone entering the basin. Basins shall be inspected after every rainfall event, material removed and stabilized. If changes to the basin are made, document and amend the SWPP plan.

D E W A T E R I N G :

If dewatering is required and sump pumps are used, all pumped water must be discharged through an erosion control facility (temporary sedimentation basin, grit chamber, sand filter, upflow chamber, hydro-cyclone, swirl concentrator, dewatering bag or other appropriate facility) prior to leaving the construction site. Proper energy dissipation must be provided at the outlet of the pump system. Discharge clear water only. To achieve better separation of the material suspended in the water a biodegradable not toxic flocculant agent may be required. For more information and materials go to by Interstate Products www.interstateproducts.com

INSPECTIONS - MAINTENANCE - DAILY RECORD - AMEND THE SWPP PLAN

- 1. Contractor shall inspect all erosion and sediment control devices, stabilized areas, and infiltration areas on a daily basis until land-disturbing activity has ceased. Thereafter, inspect at least on a weekly basis until vegetative cover is established.
2. All inspections and maintenance activities must be recorded in writing DAILY in a detailed record notes, photographs, sketches, etc, and kept with the SWPPP by the contractor.
3. Contractor shall remove all soils and sediments tracked or otherwise deposited onto adjacent property, pavement areas, sidewalks, streets, and alleys.
4. All soil hauled from the site shall be accounted for and documented in the SWPP by the contractor. Its final destination and how the soil has been stored and stabilized.
5. Contractor shall maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized (hard-surfaced areas paved and vegetation established in grass/pasture).
6. Contractor shall clean sedimentation basins, storm sewer catchbasins, ditches, and other drainage facilities as required in order to maintain their effectiveness.
7. Contractor shall inspect infiltration areas to ensure that no sediment from ongoing construction activities is accumulating.
8. Every vehicle shall not track material off-site. Clean the wheels of construction vehicles in order to remove soils before the vehicles leave the construction site.
9. Contractor shall reinforce erosion control facilities in areas where concentrated flows occur (such as swales, ditches, and areas in front of culverts and catchbasins) by backing them with snow fence, wire mesh, or silt plastic mesh reinforcement until paving and turf establishment operations have been completed.

GENERAL SOIL STABILIZATION : (SEE LANDSCAPE PLAN FOR MORE INFORMATION)

Establishment of lawn, prairie/wildflower and/or plant bed areas will be noted on the landscape plan

to ensure stabilization of soils, reworking of sod where applicable, proper watering and mulch maintenance will be required. Inspect seeded or sodded areas on a timely day-to-day basis. In the event of a seeding failure, reseed and re-mulch the areas where the original seed has failed to grow and perform additional watering as necessary at no additional cost to the Owner. Special maintenance provisions for wild and prairie grass seeded areas as noted in the landscape plan. Promptly replace all sod that dries out to the point where it is presumed dead and all sod that has been damaged, displaced, weakened, or heavily infested with weeds at no additional cost to the Owner.

In areas to be temporarily seeded, use introduced seed mixture equivalent to WIDOT #10 or #20. Apply seed mixture per WIDOT 630.3.5. Incorporate a fertilizer (slow release type with 10 week residual consisting of 23-0-30 [N-P-K]) into the soil at an application rate of 224 kg per hectare (200 lbs per acre) by disk prior to seeding. In problematic areas it may be necessary to use a low phosphorus organic fertilizer in cases where seeds may not germinate. If this is the case, seed and fertilizer shall be disked into the surface and mulched properly to ensure germination and uptake of the Phosphorus by the seed.

To ensure adequate germination of the seed the work will be performed as follows:

Spring: from April 1 through May 15.
Fall: from August 15 to September 20.
After September 20, wait until October 30 to perform dormant seeding. Dormant seeding will only be allowed if the maximum soil temperature at a depth of 25 mm (1 inch) does not exceed 4.44 degrees C (40 degrees F) in order to prevent germination.

In seeded areas with slopes steeper than 3:1 and lengths less than 15 meters (50 feet), install biodegradable erosion control blankets uniformly over the soil surface by hand within 24 hours after seeding in accordance with manufacturers recommendations. Use WIDOT Urban Type B or owner approved equal.

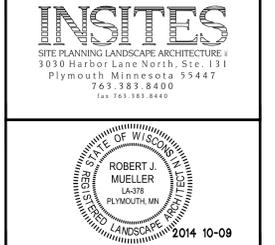
In areas where irrigation is to be installed, contractor shall work in zones to finish grade and install the system in zones. Note: Erosion control measures shall remain in place until soils have been stabilized with sod or seeded areas that exhibit minimum of 70% lawn vegetative coverage. If silt fence has to be removed to install the irrigation system, it shall be reinstalled at the end of each work day or use bio rolls to provide protection during the installation process until lawn areas have sod and/or plant beds are mulched.

In areas to be sodded, silt fence can be removed short term for working, but exposed soil areas shall be sodded or erosion control measures shall be reinstalled at the end of each work day.

NOTE: THE PROJECTS LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP



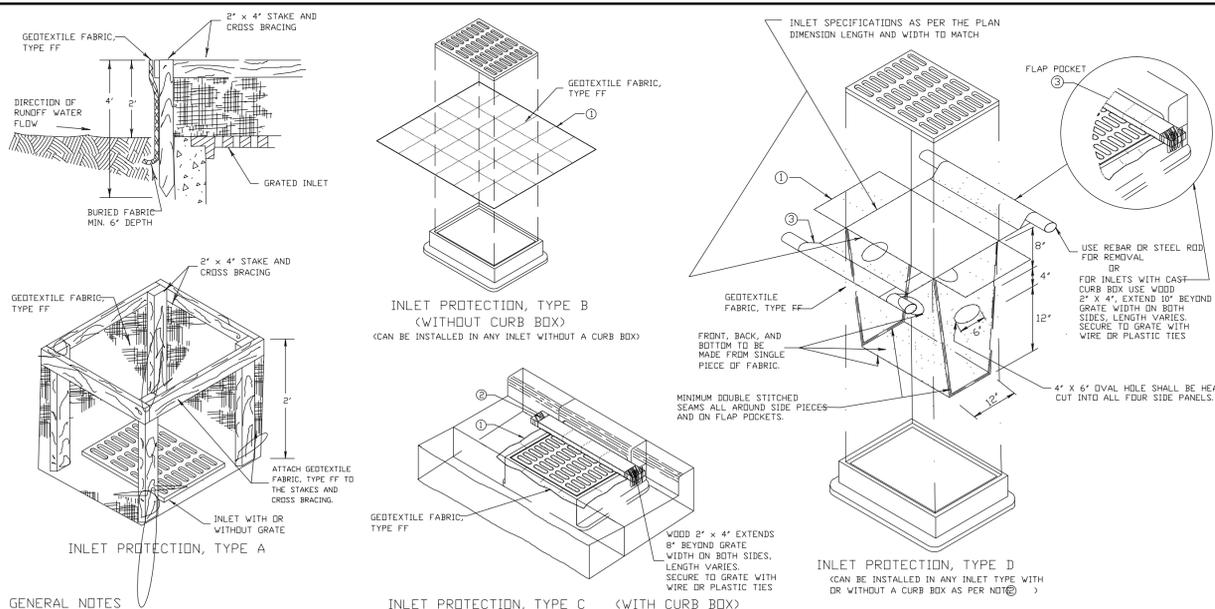
KWIK TRIP, Inc.
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LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



EROSION CONTROL DETAILS
CONVENIENCE STORE 297
MENASHA, WISCONSIN
NO. DATE DESCRIPTION
DRAWN BY
SCALE GRAPHIC
PROJ. NO. 14297
DATE 2014 10-09
SHEET SWP2

ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

<http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm>



GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

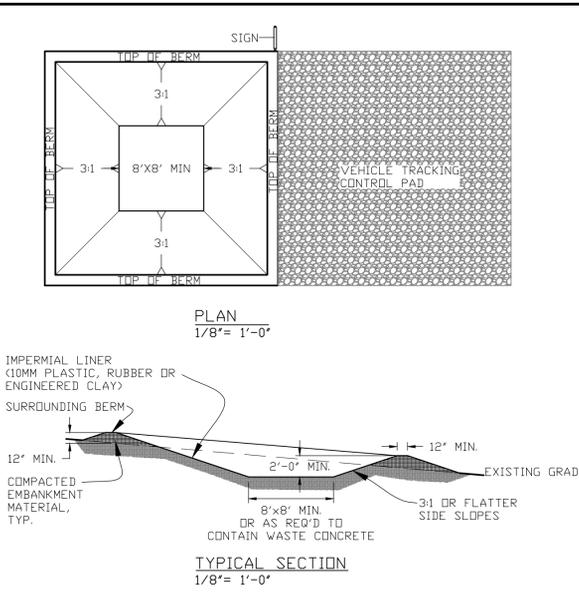
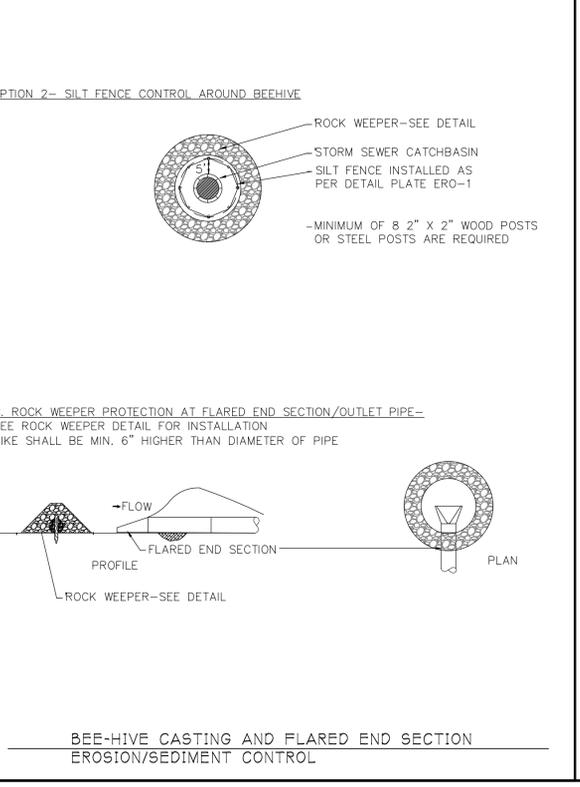
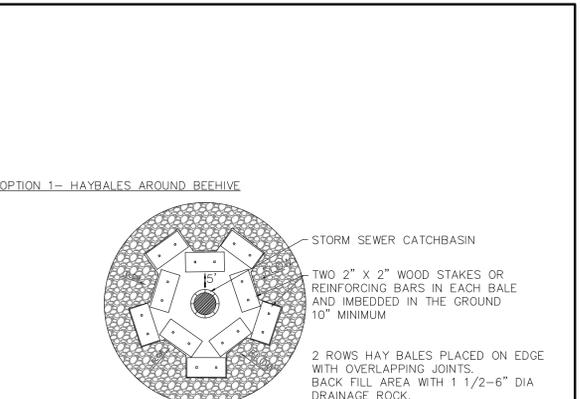
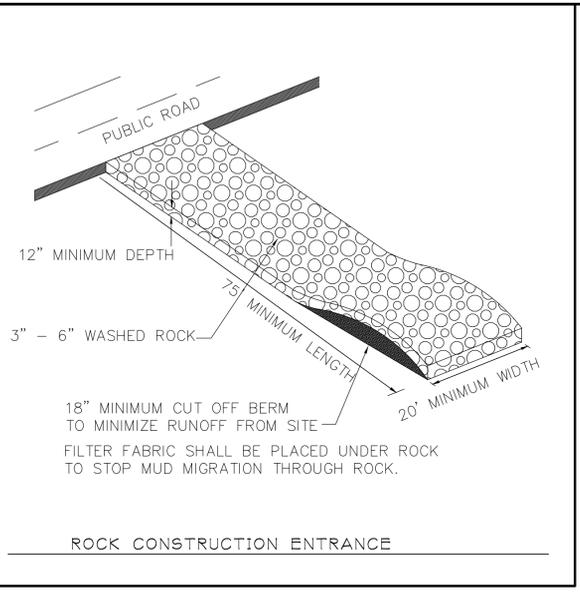
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HELDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 2" WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

INLET PROTECTION TYPE A, B, C, AND D

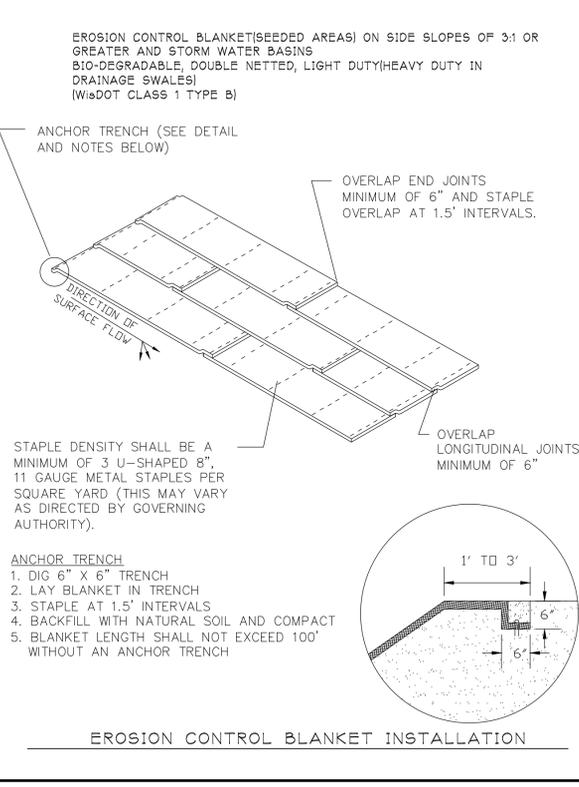
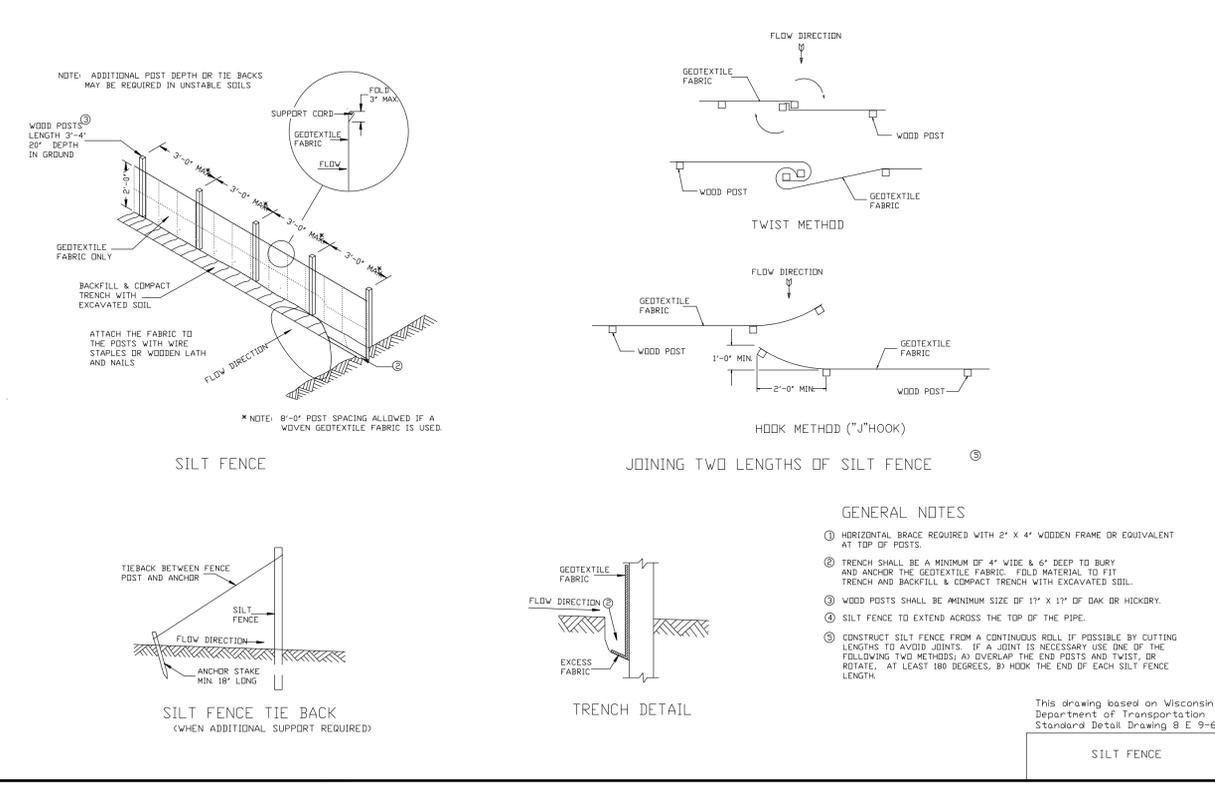


CONCRETE WASHOUT AREA INSTALLATION NOTES

- SEE EROSION CONTROL PLAN FOR LOCATIONS OF CONCRETE WASHOUT AREA(S). TO BE PLACED A MIN. OF 50' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.
- THE CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- VEHICLE TRACKING CONTROL PAD IS REQ'D AT THE ACCESS POINT(S).
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA(S), AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.

CONCRETE WASHOUT AREA MAINTENANCE NOTES

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN CONCRETE WASHOUT AREA(S) IS REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
- INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS. CLEAN-OUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVER-FLOW.

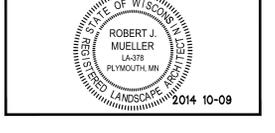


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763.383.8400
(651) 761.8400



EROSION CONTROL DETAILS

CONVENIENCE STORE 297

MENASHA, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY _____

SCALE _____ GRAPHIC _____

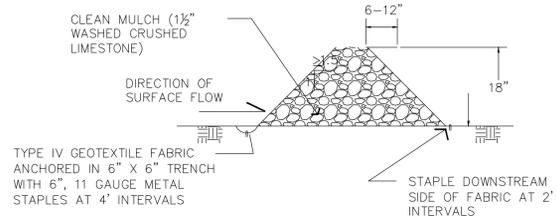
PROJ. NO. 14297

DATE 2014 10-09

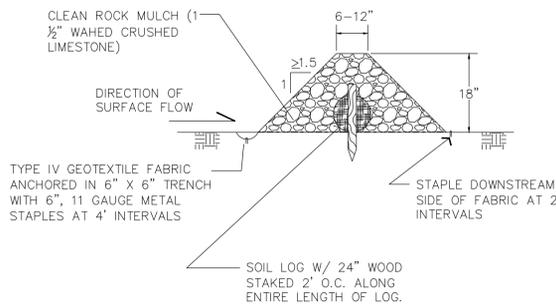
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INSITES 14-030

I. ROCK WEEPER @ MINIMAL WATER FLOWS



II. BIO WEEPER @ CONCENTRATED FLOWS



DITCH CHECKS, ROCK WEEPERS, & ROCK BIO WEEPERS
EROSION CONTROL

Channel Erosion Mat
(1053)

Wisconsin Department of Natural Resources
Conservation Practice Standard

I. Definition

A protective soil cover of straw, wood, coconut fiber or other suitable plant residue, or plastic fibers formed into a mat, usually with a plastic or biodegradable mesh on one or both sides. Erosion mats are rolled products available in many varieties and combinations of materials and with varying life spans.

II. Purpose

The purpose of this practice is to protect the channel from erosion or act as turf which erodes during and after the establishment of grass or other vegetation in a channel. This practice applies to both Erosion Control Revegetative Mat (ECRM) and Turf Reinforcement Mat (TRM).

III. Conditions Where Practice Applies

This standard applies where runoff channelizes in intermittent flow and vegetation is to be established. Some products may have limited applicability in projects adjacent to navigable waters.

IV. Federal, State, and Local Laws

Users of this standard shall be aware of applicable federal, state, and local laws, rules, regulations, or permit requirements governing the use and placement of erosion mat. This standard does not contain the text of federal, state, or local laws.

V. Criteria

This section establishes the minimum standards for design, installation and performance requirements. To complete the shear calculations, a 2 year, 24 hour storm event shall be used to calculate depth of flows for an ECRM. For sizing a TRM, use the depth of flow corresponding to the maximum design capacity of the channel.

Only mats listed in the Wisconsin Department of Transportation (WisDOT) Erosion Control Product Acceptability List (PAL) will be accepted for use in this standard.

To differentiate applications WisDOT organizes erosion mats into three classes of mats, which are further broken down into various Types.

A. Class I - A short-term duration (minimum of 6 months), light duty, organic ECRM with plastic or biodegradable netting.

- Type A - Only suitable for slope applications, not channel applications.
- Type B - Double netted product for use in channels where the calculated (design) shear stress is 1.5 lbs/ft² or less.

B. Class II - A long-term duration (three years or greater), organic ECRM.

- Type A - Jute fiber only for use in channels to reinforce soil.
- Type B - For use in channels where the calculated (design) shear stress is 2.0 lbs/ft² or less. Made with plastic or biodegradable mat.
- Type C - A woven mat of 100% organic material for use in channels where the calculated (design) shear stress is 2.0 lbs/ft² or less. Applicable

for use in environmentally sensitive areas where plastic netting is inappropriate.

C. Class III - A permanent 100% synthetic ECRM or TRM. Class I, Type B erosion mat or Class II, Type B or C erosion mat must be placed over a soil filled TRM.

- Type A - An ECRM for use in channels where the calculated (design) shear stress of 2.0 lbs/ft² or less.
- Type B - A TRM for use in channels where the calculated (design) shear stress of 2.0 lbs/ft² or less.
- Type C - A TRM for use in channels where the calculated (design) shear stress of 3.5 lbs/ft² or less.
- Type D - A TRM for use in channels where the calculated (design) shear stress of 5.0 lbs/ft² or less.

D. Installation

- ECRM shall be installed after all topsoiling, fertilizing, liming, and seeding is complete.
- Erosion mats shall extend for whichever is greater, up to one-foot minimum vertically from the ditch bottom or 6 inches higher than the design flow depth.
- The mat shall be in firm and continuous contact with the soil. It shall be anchored, overlapped, staked and reworked per the manufacturer's recommendations.
- TRM shall be installed in conjunction with the topsoiling operations and shall be followed by ECRM installation.
- At time of installation, document the manufacturer and mat type by saving material labels and manufacturer's installation instructions. Retain this documentation until the site is stabilized.

VI. Considerations

- Erosion mat shall be selected so that they last long enough for the grass or other vegetation to become densely established.
- Consider using Class II, Type C mats adjacent to waterways where trapping small animals is to be avoided.
- Class III TRM may be appropriate as a replacement for riprap in a channel liner. Check the shear stress criteria for the channel to determine mat applicability.
- Once a gully has formed in a channel, it is difficult to stabilize due to loss of soil structure. Even when the gully is filled with topsoil and reseeded, the soil has a tendency to dislodge in the same pattern. If gully formation continues to be a problem, the design should be reevaluated, including other mat classes or riprap.
- It may be difficult to establish permanent vegetation and adequate erosion protection in a channel with continuous flow. Consider riprap or planting wetland species with an ECRM.
- Documentation of materials used, monitoring logs, project diary, and weekly inspection forms including erosion and stormwater management plans, should be provided to the regulatory agency with long term maintenance of the site.
- Channel cross sections may be parabolic, v-shaped or trapezoidal. The use of "v" channels is generally discouraged due to erosion problems experienced.
- To help determine the appropriate channel liner, designers can refer to the design matrix in the back of the WisDOT PAL. However, for channels not conforming to the typical sections shown in the channel matrix or having a depth of flow greater than 6 inches (150 mm), the designer will need to design

for an appropriate channel liner. One way to do this is to use the "tractive force" method presented in FRWA's Hydraulic Engineering Circular (HEC) No. 15. This method requires that the calculated maximum shear stress of a channel is not to exceed the permissible shear stress of the channel liner. To use this method, permissible shear stress values are listed next to each device listed in the channel matrix.

VII. Plans and Specifications

- Plans and specifications for installing erosion mat shall be in keeping with this standard and shall describe the requirements for applying the practice to achieve its intended purpose. The plans and specifications shall address the following:
 - Location of erosion mat
 - Installation sequence
 - Material specifications conforming to standard
- All plans, standard detail drawings, or specifications shall include schedule for installation, inspection, and maintenance. The responsible party shall be identified.

VIII. Operation and Maintenance

- Erosion mats shall at a minimum be inspected weekly and within 24 hours after every precipitation event that produces 0.5 inches of rain or more during a 24-hour period.
- If there are signs of rilling under the mat, install more staples or more frequent anchoring trenches. If rilling becomes severe enough to prevent establishment of vegetation, remove the sections of mat where the damage has occurred. Fill the eroded area with topsoil, compact, reseed and replace the section of mat, trenching and overlapping ends per manufacturer's recommendations. Additional staking is recommended near where rilling was filled.
- If the reinforcing plastic netting has separated from the mat, remove the plastic and if necessary replace the mat.

D. Maintenance shall be completed as soon as possible with consideration to site conditions.

IX. References

WisDOT "Erosion Control Product Acceptability List" is available online at <http://www.dot.wisconsin.gov/business/engserv/pal.htm>.

X. Definitions

Channel Erosion: The deepening and widening of a channel due to soil loss caused by flowing water. As rills become larger and flows begin to concentrate, soil detachment occurs primarily as a result of shear.

Erosion Control Revegetative Mat (ECRM) (II): Erosion control revegetative mats are designed to be placed on top of soil.

Turf Reinforcement Mat (TRM) (II): Turf reinforcement mats are permanent devices constructed from various types of synthetic materials and buried below the surface to help stabilize the soil. TRMs must be used in conjunction with an ECRM or an approved soil stabilizer Type A (as classified in the WisDOT PAL).

Conservation Practice Standards are reviewed periodically and updated if needed. To obtain the current version of this standard, contact your local WDNR office or the Standards Oversight Council office in Madison.

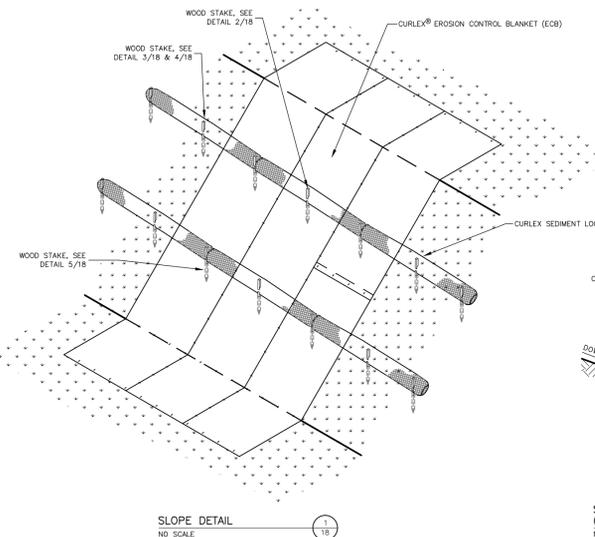
*Words in the standard that are shown in **bold** are described in X. Definitions. The words are italicized the first time they are used in the text.

WDNR, WI 1204

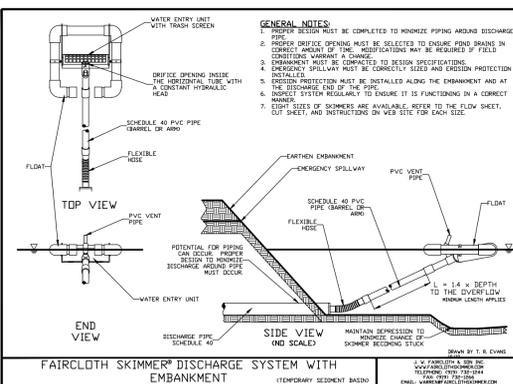
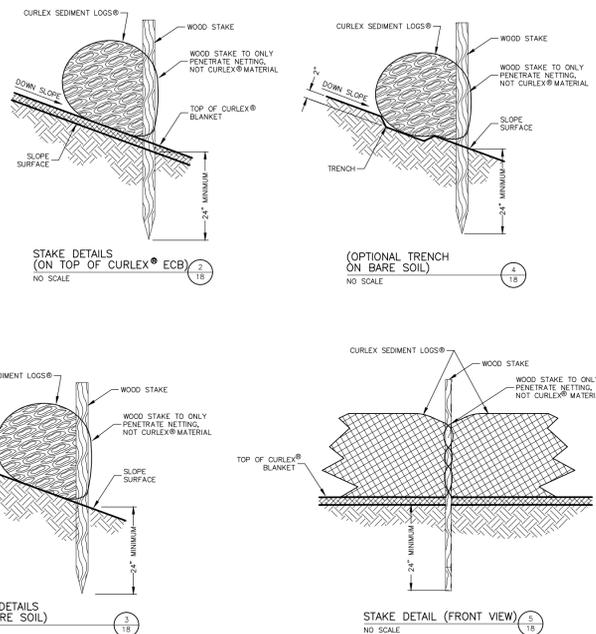
WDNR, WI 1004

WDNR, WI 1004

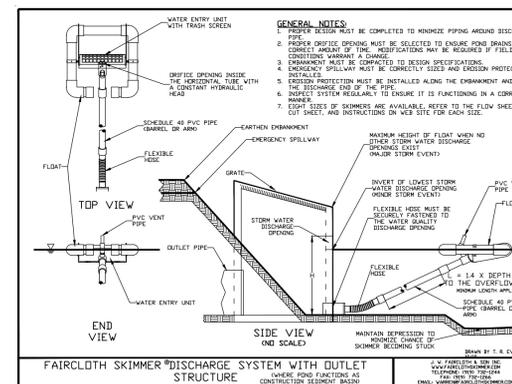
NOTE: SEDIMENT LOGS SHALL BE "CURLEX" BY AMERICAN EXCELSIOR COMPANY www.americanexcelsior.com/erosioncontrol/ OR APPROVED EQUAL



BIO ROLL INSTALLATION ("LOG WEEPERS")
EROSION CONTROL



FAIRCLOTH SKIMMER DISCHARGE SYSTEM OR APPROVED EQUAL BY OWNER)
SEDIMENT CONTROL



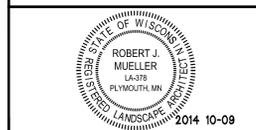
NOTE: WHEN CONSTRUCTION IS FINISHED, SEDIMENT IS TO BE REMOVED FROM POND. ONCE THE POND IS STABILIZED THE FAIRCLOTH SKIMMER CAN BE REMOVED AND THE INLET PIPE TO THE OUTLET STRUCTURE BE MADE FUNCTIONAL PER DETAIL SHEET SP3.

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EROSION CONTROL DETAILS

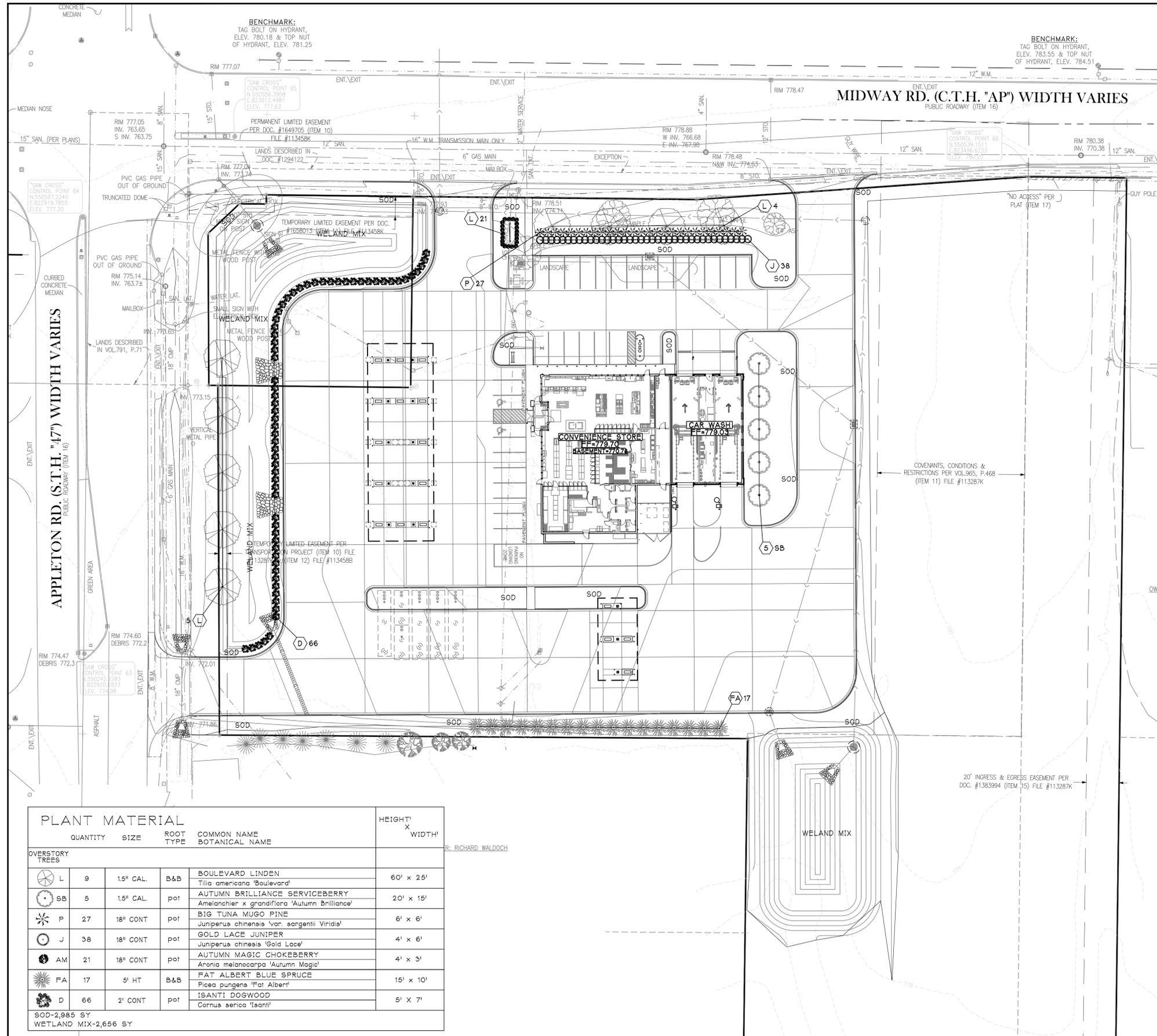
CONVENIENCE STORE 297

MENASHA, WISCONSIN

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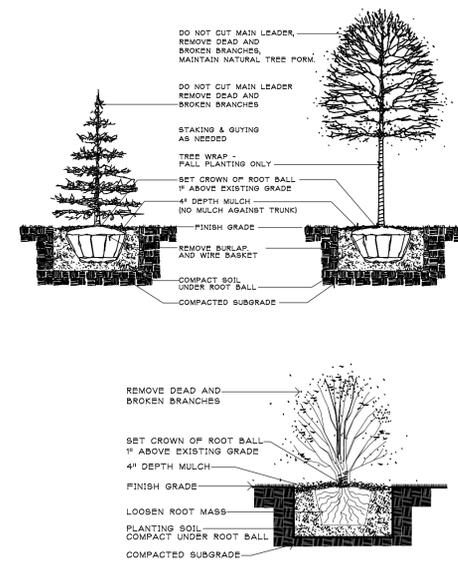
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PROJ. NO.: 14297
DATE: 2014-10-09
SHEET: SWP4

INSITES 14-030



NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY AFFECT HIS WORK.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
- REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS, AND OTHER UNDESIRABLE DEBRIS.
- PLANTING SOIL MIX (INCIDENTAL COST ITEM)
 1. MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL
 2. THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOP SOIL.
- USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
- LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD SHALL BE CULTURED WITH PREDOMINATELY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER - WHERE EXISTING CONCRETE/ ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW', 'BLACK DIAMOND' EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
- USE FINELY SHREDDED HARDWOOD BARK MULCH, NO DYED MULCHES, INSTALL 4" DEPTH. NO FILTER FABRIC OR EDGING AROUND ALL TREES OUTSIDE SHRUB BEDS.
- GRAVEL MULCH SHALL BE 1" DIA. WASHED 'RIVER ROCK'. INSTALL 4" DEPTH WITH APPROVED WEED FABRIC BARRIER IF INDICATED PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM INSTALLATION PER SHEET 11. DESIGN SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND/OR PLANTINGS, FROM CURB TO CURB. R.O.W. SHOULD BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. CARE SHOULD BE TAKEN IN VICINITY OF ALL WALKS AND DRIVES TO MINIMIZE OVER SPRAY. COORDINATE INSTALLATION OF ALL PVC SLEEVE UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER AND DAILY AS DEEMED NECESSARY BY THE CITY.
- LANDSCAPE CONTRACTOR SHALL SOD AND REPAIR IN THE RIGHTWAY AS IS NEEDED.
- GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.



PLANT MATERIAL					HEIGHT' X WIDTH'
QUANTITY	SIZE	ROOT TYPE	COMMON NAME	BOTANICAL NAME	
OVERSTORY TREES					
L	9	1.5" CAL.	B&B	BOULEVARD LINDEN <i>Tilia americana 'Boulevard'</i>	60' x 25'
SB	5	1.5" CAL.	pot	AUTUMN BRILLIANCE SERVICEBERRY <i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	20' x 15'
P	27	18" CONT	pot	BIG TUNA MUGO PINE <i>Juniperus chinensis 'var. sargentii Viridis'</i>	6' x 6'
J	38	18" CONT	pot	GOLD LACE JUNIPER <i>Juniperus chinensis 'Gold Lace'</i>	4' x 6'
AM	21	18" CONT	pot	AUTUMN MAGIC CHOKEBERRY <i>Aronia melanocarpa 'Autumn Magic'</i>	4' x 3'
FA	17	5' HT	B&B	FAT ALBERT BLUE SPRUCE <i>Picea pungens 'Fat Albert'</i>	15' x 10'
D	66	2' CONT	pot	ISANTI DOGWOOD <i>Cornus sericea 'Isanti'</i>	5' x 7'

SOD-2,985 SY
WETLAND MIX-2,656 SY

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STATE OF WISCONSIN
ROBERT J. MUELLER
LANDSCAPE ARCHITECT
2014 10-20

LANDSCAPE PLAN

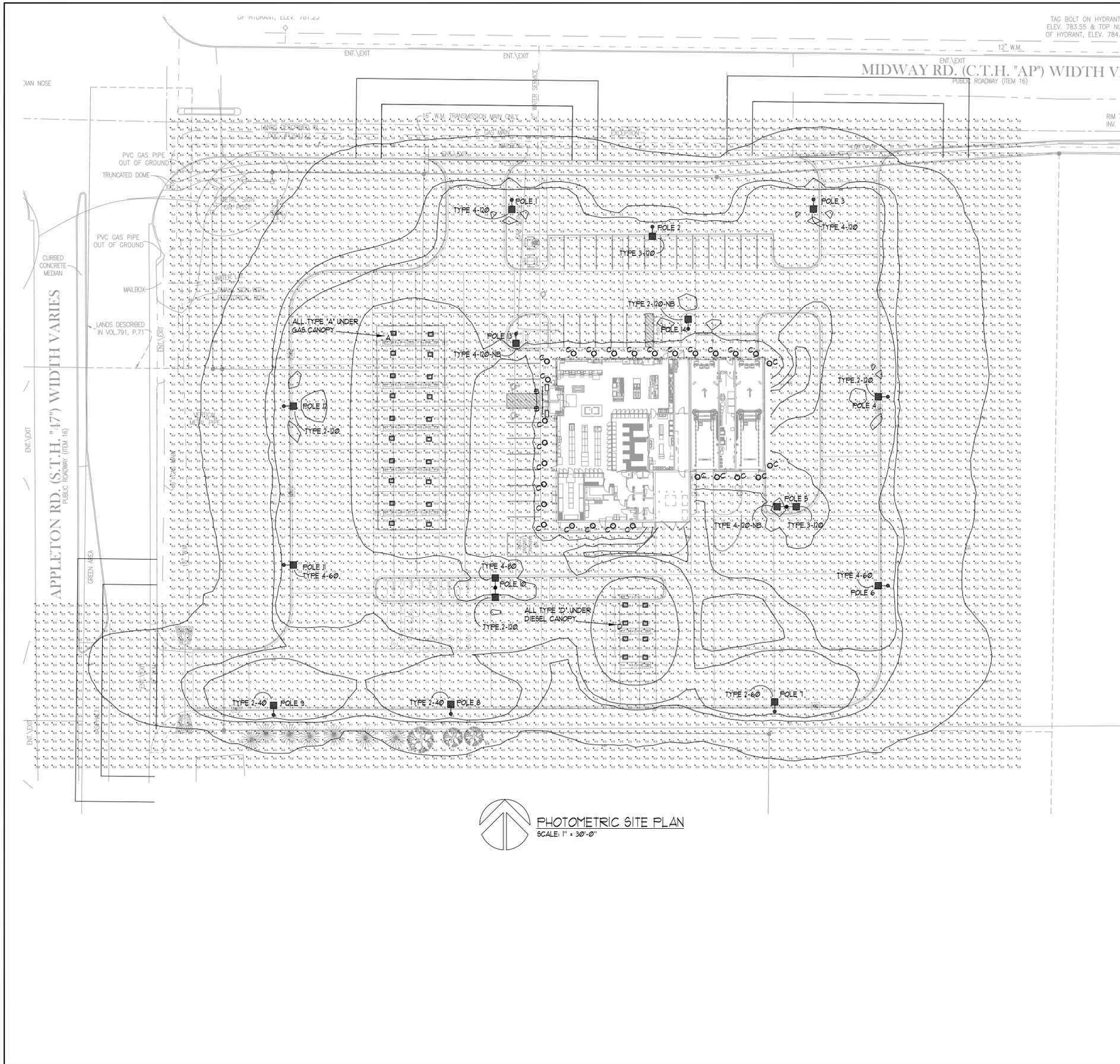
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MENASHA, WISCONSIN

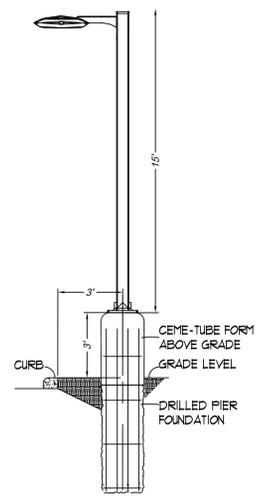
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PROJ. NO.: 14297
DATE: 2014 10-20
SHEET: **L1**

INSITES 14-030



PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'-0"



LOT LIGHT ELEVATION DETAIL
NOT TO SCALE

FIXTURE QUANTITIES

A	- 20
B	- 2
C	- 28
D	- 8
TYPE 2-40	- 2
TYPE 2-60	- 1
TYPE 2-120	- 2
TYPE 2-120-NB	- 2
TYPE 3-120	- 2
TYPE 4-60	- 2
TYPE 4-80	- 1
TYPE 4-120	- 2
TYPE 4-120-NB	- 2

PROVIDE A TOTAL OF (14) 15' POLES.

CALCULATION STATISTICS

AVERAGE:	2.1fc
MAXIMUM:	4.10fc
MINIMUM:	0.0fc

FIXTURE SYMBOLS:

A & D	RECESSED LED LIGHT MOUNTED UNDER CANOPY
B	LED STRIP LIGHT
C	RECESSED LED DOWNLIGHT
POLE MOUNTED LED FIXTURE	
TYPES 2, 3 & 4	

FIXTURE TYPES:

- A - CREE LIGHTING: CAN-304-SL-R5-06-E-UL-UH-100
MOUNTING HEIGHT - 16'-0"
- B - LED STRIP LIGHT
LITHONIA - ZLI-L96-LB840
MOUNTING HEIGHT: SEE ARCHITECTURAL ELEVATIONS
- C - RECESSED LED DOWNLIGHT
GOTHAM EVO 41/29-BAR-120-TRW
- D - CREE LIGHTING: CAN-228-P5-RM-03-D-UL-BK-100
MOUNTING HEIGHT - 16'-0"
- TYPE 2-40 - CREE LIGHTING: ARE-EDG-2MB-DA-04-E-UL-UH-350
- TYPE 2-60 - CREE LIGHTING: ARE-EDG-2MB-DA-06-E-UL-UH-350
- TYPE 2-120 - CREE LIGHTING: ARE-EDG-2MB-DA-12-E-UL-UH-350
- TYPE 2-120-NB - CREE LIGHTING: ARE-EDG-2M-DA-12-E-UL-UH-350
- TYPE 3-120 - CREE LIGHTING: ARE-EDG-3MB-DA-12-E-UL-UH-350
- TYPE 4-60 - CREE LIGHTING: ARE-EDG-4MB-DA-06-E-UL-UH-350
- TYPE 4-80 - CREE LIGHTING: ARE-EDG-4MB-DA-08-E-UL-UH-350
- TYPE 4-120 - CREE LIGHTING: ARE-EDG-4MB-DA-12-E-UL-UH-350
- TYPE 4-120-NB - CREE LIGHTING: ARE-EDG-4M-DA-12-E-UL-UH-350

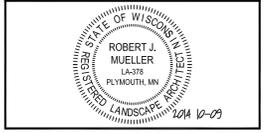
C421
CZARNECKI
ENGINEERING
INCORPORATED
101 MARLIN COURT, SUITE B - WAUKESHA WI 53096
VOICE: (262) 513-3000 FAX: (262) 513-3003
WEB PAGE: www.czeng.com

KWIK TRIP
STORES

KWIK STAR
STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX. (608) 781-8960

INSITES
SITE PLANNING LANDSCAPE
3030 HARCOURT BLVD. N. Ste. 131
Plymouth, Minnesota 55447
763.383.8400
fax 763.383.8440



PHOTOMETRIC SITE PLAN
CONVENIENCE STORE 297
MENASHA, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY: CZE
SCALE: GRAPHIC
PROJ. NO: 14297
DATE: 2014 10-09
SHEET: E1

3ED
RETE
AN

PUBLIC ROADWAY (ITEM 16)

ASPHALT

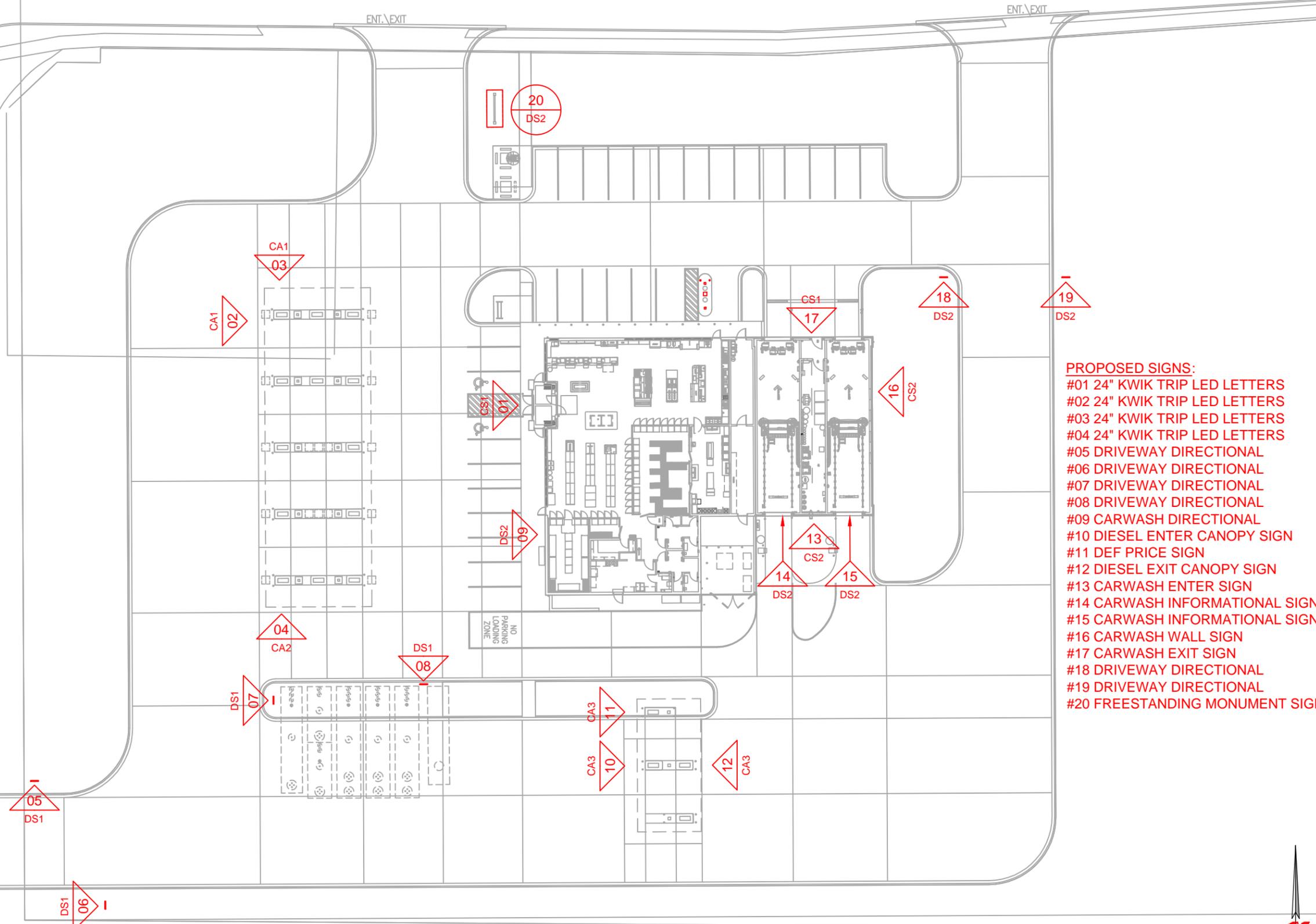
TRUNCATED DOME

ENT.\EXIT

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SITE PLAN

1" = 40'-0"

PROPOSED SIGNS:

- #01 24" KWIK TRIP LED LETTERS
- #02 24" KWIK TRIP LED LETTERS
- #03 24" KWIK TRIP LED LETTERS
- #04 24" KWIK TRIP LED LETTERS
- #05 DRIVEWAY DIRECTIONAL
- #06 DRIVEWAY DIRECTIONAL
- #07 DRIVEWAY DIRECTIONAL
- #08 DRIVEWAY DIRECTIONAL
- #09 CARWASH DIRECTIONAL
- #10 DIESEL ENTER CANOPY SIGN
- #11 DEF PRICE SIGN
- #12 DIESEL EXIT CANOPY SIGN
- #13 CARWASH ENTER SIGN
- #14 CARWASH INFORMATIONAL SIGN
- #15 CARWASH INFORMATIONAL SIGN
- #16 CARWASH WALL SIGN
- #17 CARWASH EXIT SIGN
- #18 DRIVEWAY DIRECTIONAL
- #19 DRIVEWAY DIRECTIONAL
- #20 FREESTANDING MONUMENT SIGN



STORES



STORES

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1626 OAK STREET
LA CROSSE, WI 54602-2107
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FAX (608) 781-8960

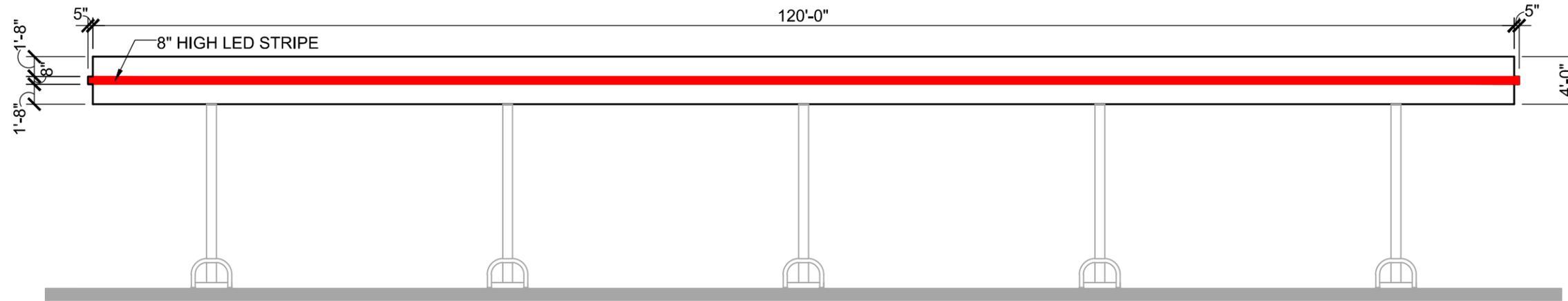
SITE PLAN

CONVENIENCE STORE #297
WITH 2 BAY CARWASH

APPLETON ROAD
MENASHA, WI

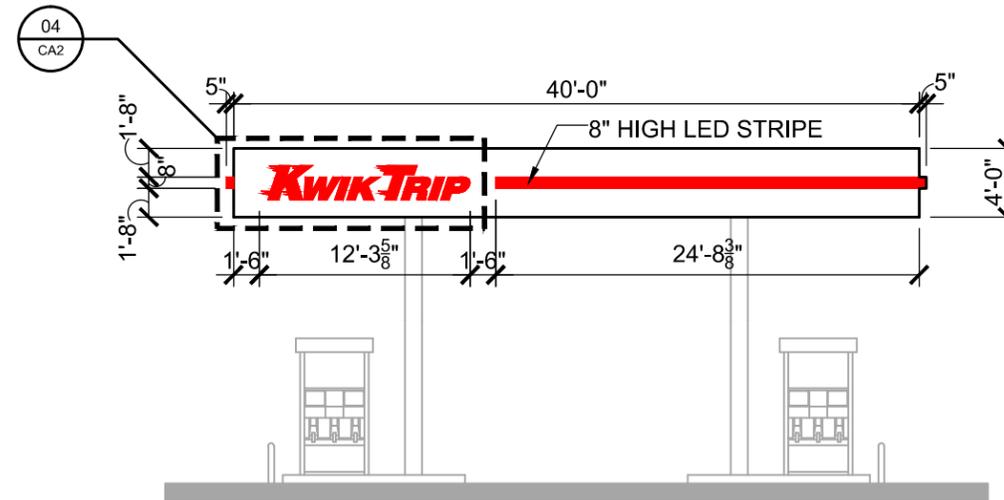
#	DATE	DESCRIPTION

DRAWN BY: B BERG
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2014-11-12
SHEET: SP1



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #04

SCALE: 1/2" = 1'-0"

KWIK TRIP

STORES

KWIK STAR

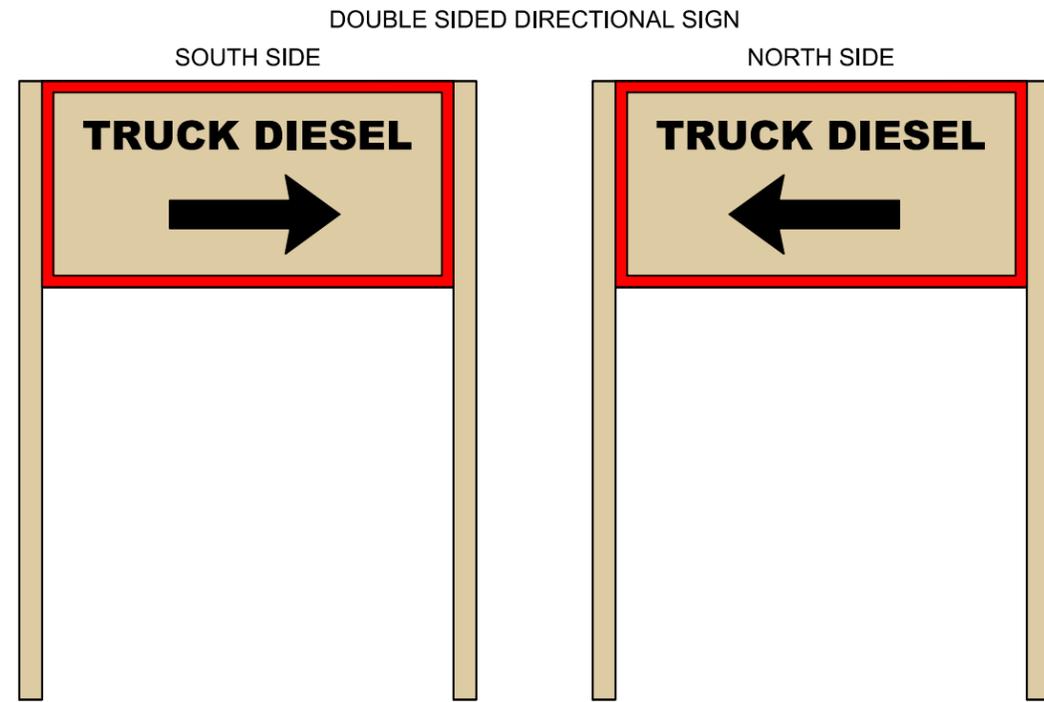
STORES

KWIK TRIP, Inc.
P.O. BOX 2107
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LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

CANOPY SIGNAGE
CONVENIENCE STORE #297
WITH 2 BAY CARWASH
APPLETON ROAD
MENASHA, WI

#	DATE	DESCRIPTION

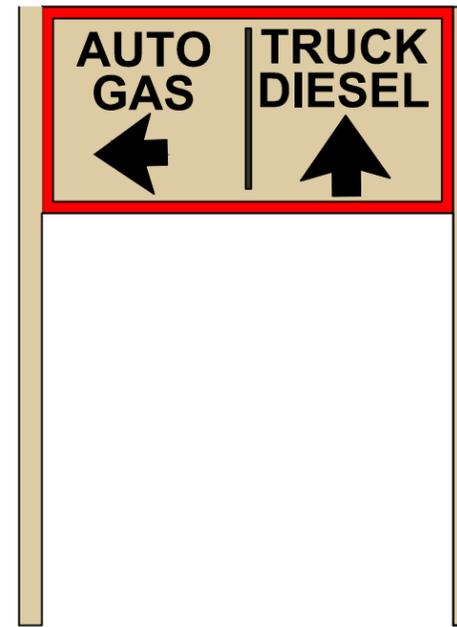
DRAWN BY: B BERG
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2014-11-12
SHEET: CA2



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #05

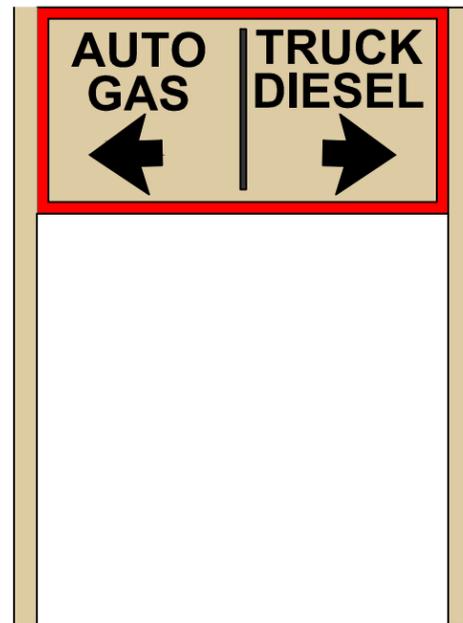
SCALE: 3/4" = 1'-0"



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #06

SCALE: 3/4" = 1'-0"

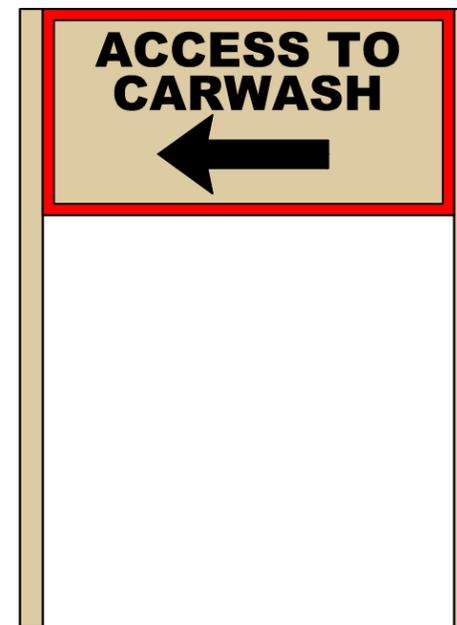


NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #07

SCALE: 3/4" = 1'-0"

SINGLE SIDED DIRECTIONAL SIGN



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #08

SCALE: 3/4" = 1'-0"



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FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #297
WITH 2 BAY CARWASH

APPLETON ROAD
MENASHA, WI

#	DATE	DESCRIPTION

DRAWN BY	B BERG
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2014-11-12
SHEET	DS1

City of Menasha
SPECIAL ZONING APPROVAL

Owner AAK Holdings II Case or Plan No. _____

Address 100 Main St. Menasha Fee 850

Applicant (if different than Owner) James Fletcher Broker/Agent

Address _____

Zoning C-2 Parcel Number(s) Trt Parcels 2-00069-0 2-00070-0

PLEASE INDICATE WHICH REQUEST IS BEING MADE

- Rezoning Special Use Flood Plain Map Amendment
 Appeal or Variance PUD Plan Approval

Description of Request: Modify transitional landscaping area and parking lot interior landscaping requirements to preserve on site parking and maintain existing driveway opening and traffic pattern.

Owner/Agent [Signature] Broker/Agent
Signature

(If applicable) Formal Hearing 3-16-2015

Informal Hearing 3-3-2015 Notice Mailed 2-25-2015

Notice Mailed 2-25-2015 Notice Mailed —

Action Taken: _____ 20__

- APPROVED DENIED

Conditions (if any): _____



February 25, 2015

RE: Special Use Permit Application for 100 Main Street

Dear Property Owner:

James Fletcher, broker/agent for AAK Holding II, has applied for a Special Use Permit for Parcel Number 2-00069-00 and 2-00070-00 located at 100 Main Street. The Special Use Permit has been requested to reoccupy the office space. The subject site is zoned C-2 Central Business District which requires a Special Use Permit to reestablish the office use on a nonconforming site per Sec. 13-1-44(b)(2) of the City of Menasha Code of Ordinances.

The City of Menasha Plan Commission will hold a public hearing on the proposed Special Use Permit on Tuesday, March 3, 2015 at 3:35 p.m. or shortly thereafter in the City Hall Council Chambers located at 140 Main Street, Menasha.

The City of Menasha Common Council will hold a public hearing on the proposed Special Use Permit on Monday, March 16, 2015 at 6:00 p.m. or shortly thereafter in the City Hall Council Chambers, 140 Main Street, Menasha.

A copy of the Public Hearing Notice is attached along a map identifying the location of the property.

Persons interested in this matter will be given an opportunity to comment on the request; written comments will also be considered. You are receiving this notice because you own property within one hundred (100) feet of the proposed special use. If you have any questions, please contact me.

Sincerely,

Kristi Heim
Community Development Coordinator

C: Plan Commission
City Clerk Galeazzi



Proposed Special Use Location

100 Main Street

Parcel ID# 2-00069-00 & 2-00070-00



**City of Menasha
Public Hearings**

NOTICE IS HEREBY GIVEN that public hearings will be held by the Menasha Plan Commission and Common Council on an application for a Special Use Permit by James Fletcher, broker/agent for AAK Holdings II to reoccupy the office space at 100 Main Street, which includes Parcel Number, 2-00069-00 and 2-00070-00, City of Menasha, Winnebago County, Wisconsin. The subject sites are zoned C-2 Central Business District and require a Special Use Permit to reestablish the office use on a nonconforming site per Sec. 13-1-44(b)(2) of the City of Menasha Code of Ordinances. Nonconformities include transitional area landscaping adjacent to residential properties and parking lot interior landscaping. The Plan Commission will hold its public hearing on Tuesday, March 3, 2015 at 3:30 PM, or shortly thereafter, in the Council Chambers of Menasha City Hall located at 140 Main Street, Menasha, WI. The Common Council will hold its public hearing on this matter at 6:00 PM, or shortly thereafter, on Monday, March 16, 2016 at the same location. All persons interested in commenting on the application for this Special Use Permit are invited to attend.

Deborah A. Galeazzi, WCMC
City Clerk

Run: March 1 & 9, 2015.



LANDSCAPE PLAN

LANDSCAPE LEGEND

- EMERALD GREEN ARBS
- PYGMY ARB GLOBES
- SPIREA
- DAYLILLIES
- SUMMER WINE NINEBARK
- DWARF ARTIC BLUE WILLOW
- MUGO PINE
- PINK POTENTILLA
- TREES
- HARDWOOD MULCH
- WDOT SEED MIXTURE NO. 40, OR LANDSCAPE ARCHITECT APPROVED EQUIVALENT.
- MEDIUM WHITE RIVER ROCK

LANDSCAPE PLAN NOTE:

- A MINIMUM OF 6" OF TOPSOIL IS TO BE INSTALLED IN ALL PROPOSED GREENSPACE AREAS.

Product Name	Size at planting	Height at maturity	Width at maturity
Goldrround Spirea	15-18"	18-24"	2-3'
Magic Carpet Spirea	15-18"	18-74"	2-3'
Summertime Ninebark	2-3'	5-03'	6-6'
Dwi. Blue Artic Willow	3'	3-4'	3-5'
Pink Beauty Potentilla	18-24"	2-3'	2-3'
Emerald Green Arb.	5-6'	15'	3-4'
OW. Mugo Pine	2'	3-5'	6-8'
Pygmy Globe Arb.	15-18"	2-3'	2-3'
Stella Daylilies	1 gal.	18"	2'

TREES	Caliper at planting	Height at maturity	Width at maturity
Whitespire Clump Birch	1.5"	30'-40'	20'-25'
Greenspire Linden	1.5"	40'-50'	30'
Emerald Queen Maple	1.5"	50'	40'
Armstrong Maple	1.6"	50'-65'	15'-20'
Columnar Maple	1.5"	.65'	15'-20'
Silver Maple	1.5"	61:1'-80'	40'-50'
Ivory Silk Liaio	1.5"	20'-25'	15'

TOPOGRAPHIC LEGEND

- 1" x 18" IRON PIPE SET
- 1-1/4" x 30" REBAR SET
- CHISELED "X" FOUND
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- 1-1/4" REBAR FOUND
- 2" IRON PIPE FOUND
- CHISELED "X" FOUND
- GOVERNMENT CORNER
- RECORDED AS
- CONIFEROUS TREE
- DECIDUOUS TREE
- EXIST. WOODS LINE
- WETLANDS
- SOIL BORING
- OVERHEAD POWER LINES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER
- UNDERGROUND FIBEROPTIC
- UNDERGROUND GAS
- UNDERGROUND CABLE TV
- EXIST. FENCE LINE
- SIGN
- POWER POLE
- GUY
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- CABLE PEDESTAL
- EXIST. HYDRANT
- WATER VALVE
- WATER STOP BOX
- GAS VALVE
- EXIST. STORM MANHOLE
- STORM INLET
- YARD DRAIN
- EXIST. SANITARY MANHOLE
- EXIST. SAN. SEWER
- EXIST. STO. SEWER
- EXIST. WATER MAIN
- EXIST. SPOT ELEVATION
- CONTOUR W/ ELEVATION
- 800.006 EXIST. TOP OF CURB ELEV.
- 800.000 EXIST. FLOW LINE ELEV.
- FF = 800.00 FIRST FLOOR = 800.00
- TOPSOIL DEPTH
- INFILTRATION SOIL BORING

Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

Planning
 Environmental
 Surveying
 Engineering
 Architecture

NO.	DATE	DRAWN BY	GRC	CHECKED	APPROVED	REVISION	

LANDSCAPE PLAN
100 MAIN STREET
 CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SCALE: 1" = 20'
 DATE: 02-24-2014
 COMPUTER FILE: 1-0599-001s.dwg

DRAWING NO.: 1-0599-001LS