

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**June 7, 2011
3:30 PM**

AGENDA

- A. CALL TO ORDER
- B. ROLL CALL/EXCUSED ABSENCES
- C. MINUTES TO APPROVE
 - 1. [Minutes of the May 17, 2011 Plan Commission Meeting](#)
- D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA
Five (5) minute time limit for each person
- E. DISCUSSION
 - 1. None
- F. ACTION ITEMS
 - 1. [Site Plan Review – Dollar General – Appleton Road](#)
 - 2. [Site Plan Amendment – 1429 Province Terrace and Consideration of Proposed Changes to Parking Lot Requirements](#)
- G. ADJOURNMENT

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
May 17, 2011
DRAFT MINUTES

Informal Public Hearing – Ordinance Relating to the Paving of Driveway and Parking Lots

No one spoke.

A. CALL TO ORDER

The meeting was called to order at 3:37 p.m. by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Commissioners Schmidt and Homan, DPW Radtke and Ald. Benner

PLAN COMMISSION MEMBERS EXCUSED: Commissioners Strum and Cruickshank

OTHERS PRESENT: CDD Keil, Ald. Chris Klein, Ald. Steve Krueger and John Davel

C. MINTUES TO APPROVE

1. **Minutes of the May 3, 2011 Plan Commission Meeting**

Motion by Comm. Schmidt, seconded by DPW Radtke to approve the May 3, 2011 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. None

F. ACTION ITEMS

1. **Site Plan Amendment – Minimax Storage – 1840 Bud Drive**

CDD Keil reported that this item had been held from the May 3, 2011 meeting to address setback, lighting, building material and landscaping issues, and to give the Engineering Department an opportunity to review the storm water management plan. A revised site plan was presented by John Davel of Davel Engineering, representing the site owner.

Plan Commissioners discussed landscaping, building elevations and lighting criteria.

Motion by DPW Radtke, seconded by Comm. Homan to approve the site plan amendment subject to the following conditions:

- The wall pack lights visible from Bud Drive shall be full cut-off fixtures.
- The east sidewall of the building facing the storm water pond shall have the same wainscot panel treatment as the north and south endwalls.
- Two street trees shall be planted in the street ROW adjacent to the pond in lieu of building perimeter landscaping.

The motion carried.

2. **Ordinance Relating to the Paving of Driveways and Parking Lots**

CDD Keil stated that the proposed ordinance is being reintroduced with some modifications from earlier versions. The main changes are the removal of paving requirements for existing one and two family dwellings, the addition of a time of sale paving requirement for multi-family and commercial properties, and the addition of a timetable for paving driveway aprons.

Commissioners discussed the timing of paving relative to occupancy, notification of non-conforming commercial and multi-family properties.

Motion by Ald. Benner, seconded by Comm. Homan to recommend approval of the ordinance Relating to the Paving of Driveways and Parking Lots with a change to the timeline for surfacing in the R-3, R-4, C-1, C-2, C-3, C-4, I-1, I-2 and GU Districts from nine months from the date of site plan or parking lot plan approval to "prior to an occupancy permit being granted for the principal use, or, if conditions are not conducive to paving, in accordance with a timetable approved by the Community Development Department".

The motion carried.

G. ADJOURNMENT

Motion by DPW Radtke, seconded by Ald. Benner to adjourn at 4:20 p.m. The motion carried.

Minutes respectfully submitted by Greg Keil, CDD.

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, ELEVATION AND LEVEL TO BE REFERRED IN THE FIELD BY THE CONSTRUCTION MANAGER AND OR ADJUSTED AS REQUIRED.
- REQUIRED EROSION CONTROL ELEMENTS TO BE INSTALLED PRIOR TO THE START OF DEMOLITION/CONSTRUCTION. SEE SHEET EC-1 FOR ALL DETAILS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE BIDDER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- ALL DIMENSIONS ARE REFERENCED TO P.O.B WHICH IS THE NORTHEASTERN PROPERTY CORNER. ALL DIMENSIONS REFERENCED TO THE P.O.B. ARE SET PARALLEL OR PERPENDICULAR TO THE EASTERN PROPERTY LINE SAID TO BEAR S. 30°21'35"W.
- PRIOR TO THE START OF WORK VERIFY WITH THE CITY OF MENASHA THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- EXISTING UTILITIES SHALL BE REMOVED AS SHOWN ON THIS PLAN AND PROPOSED.
- THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
- PRIOR TO PERFORMING WORK WITHIN THE S.T.H. 47 /APPLETON RD. RIGHT OF WAY, NOTIFY AND COORDINATE WORK WITH THE CITY OF MENASHA.

KEYNOTES:

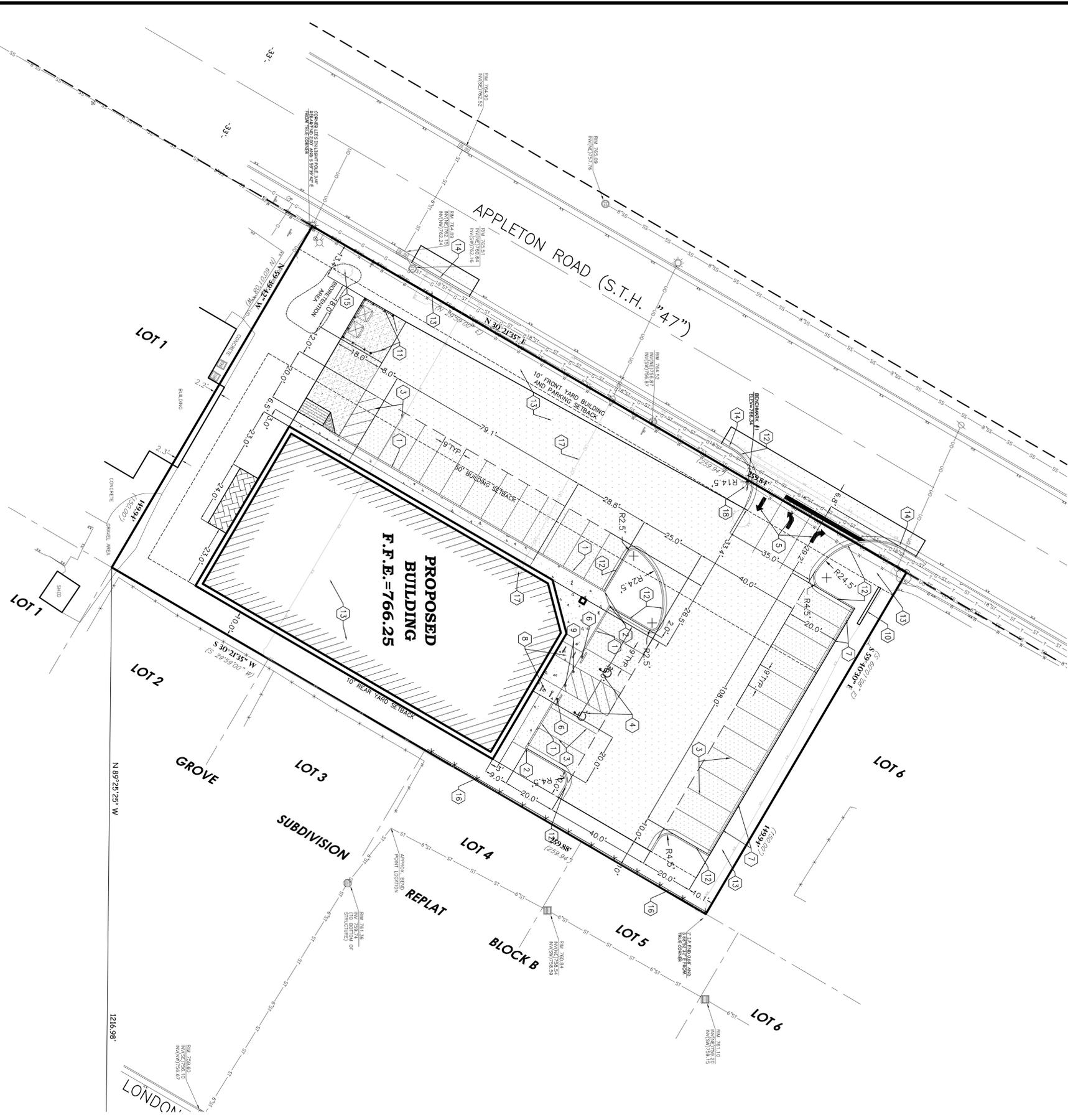
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|----|--|-----|---|
| 1 | THICKENED EDGE WALK | 3 | 18'x12' DUMPSTER ENCLOSURE |
| 2 | END OF THICKENED EDGE WALK | D-1 | 6' HIGH SHADOWBOX FRAMED FENCE & 12" SERVICE GATE |
| 3 | PARKING LOT STRIPING | 10 | 24" CONCRETE CURB & GUTTER |
| 4 | HAND-OPERATED SIGN | D-1 | REMOVE EXISTING BITUMINOUS PAVEMENT |
| 5 | DIRECTIONAL ARROW | D-1 | REMOVE & REPLACE EXISTING CONCRETE CURB & GUTTER (TO MATCH EXISTING) |
| 6 | HAND-OPERATED PARKING SIGN | D-1 | CLEAR & CRUIB EXISTING TREE |
| 7 | 8" PARKING STOP | 8 | 6" SHADOWBOX PRIVACY FENCE |
| 8 | HANDICAP CURB RAMP | D-1 | COORDINATE REMOVAL OF EXISTING LIGHT POLE/OVERHEAD POWER LINE WITH MENASHA & SALVAGE EXISTING HYDRANT |
| 9 | CONCRETE BOLLARD | D-1 | 6" SHADOWBOX PRIVACY FENCE |
| 10 | PROPOSED MONUMENT SIGN (SEE ARCHITECTURAL) | 8 | COORDINATE REMOVAL OF EXISTING LIGHT POLE/OVERHEAD POWER LINE WITH MENASHA & SALVAGE EXISTING HYDRANT |
| | | 11 | 18'x12' DUMPSTER ENCLOSURE |
| | | 12 | 24" CONCRETE CURB & GUTTER |
| | | 13 | REMOVE EXISTING BITUMINOUS PAVEMENT |
| | | 14 | REMOVE & REPLACE EXISTING CONCRETE CURB & GUTTER (TO MATCH EXISTING) |
| | | 15 | CLEAR & CRUIB EXISTING TREE |
| | | 16 | 6" SHADOWBOX PRIVACY FENCE |
| | | 17 | COORDINATE REMOVAL OF EXISTING LIGHT POLE/OVERHEAD POWER LINE WITH MENASHA & SALVAGE EXISTING HYDRANT |
| | | 18 | 6" SHADOWBOX PRIVACY FENCE |

SITE PARKING RE-CAP

EXISTING AND PROPOSED ZONING = C-1 GENERAL COMMERCIAL
 ONE STREET PARKING REQUIRED
 1 STALL PER 100 SQ. FT. OF FINISHED FLOOR AREA
 7,389 SQ. FT. / 400 = 19 STALLS REQUIRED
 ONE STREET PARKING-PROPOSED
 30 PARKING STALLS PROPOSED

PAVEMENT HATCH PATTERNS:

- | | | | |
|---|---|---|--|
| 1 | PROPOSED 3" BITUMINOUS PAVEMENT (STANDARD DUTY) | 2 | PROPOSED 4" BITUMINOUS PAVEMENT (HEAVY DUTY) |
| 3 | PROPOSED 8" REINFORCED CONCRETE PAVEMENT | 4 | PROPOSED MECHANICAL PAD |
| 5 | MATCH EXISTING BITUMINOUS PAVEMENT THICKNESS-VERIFY W/CITY OF MENASHA | | |



CURRENT ZONING

ZONED C-1 = COMMERCIAL
 CORNER LOT A FRONT PARKING LOT

LEGAL DESCRIPTION

BEING ALL OF LOTS 2, 3, 4, AND 5 OF BLOCK 4 OF GROVE SUBDIVISION, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTH-EAST 1/4 OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 10 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

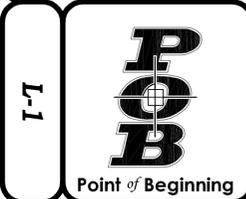
POINT OF BEGINNING, INC. HAS THE RIGHT TO CONVEY TO ANY TO WHOMsoever THE RIGHT OF WAY TO THE POINT OF BEGINNING, INC. FOR THE PURPOSES OF THE CONSTRUCTION AND OPERATION OF THE POINT OF BEGINNING, INC. 2011 POINT OF BEGINNING, INC.

LAYOUT PLAN

CHECKED: JIM LINDBERG
 DRAWN: MELISSA KLOCK
 DATE: 9/26/11
 PROJECT NO: 11.025

DGI-MENASHA, LLC
DOLLAR GENERAL SITE
CITY OF MENASHA
WINNEBAGO COUNTY, WISCONSIN

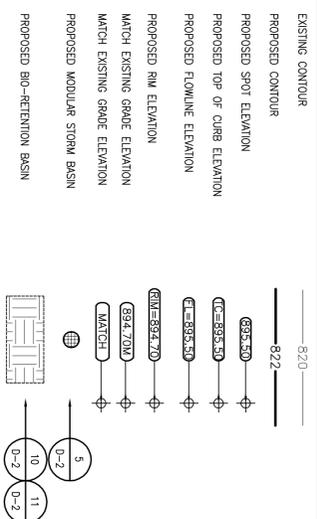
Land Surveying
 Engineering
 5709 Windy Drive, Suite D
 Stevens Point, WI 54482
 715.344.9999(Ph) 715.344.9922(Fx)



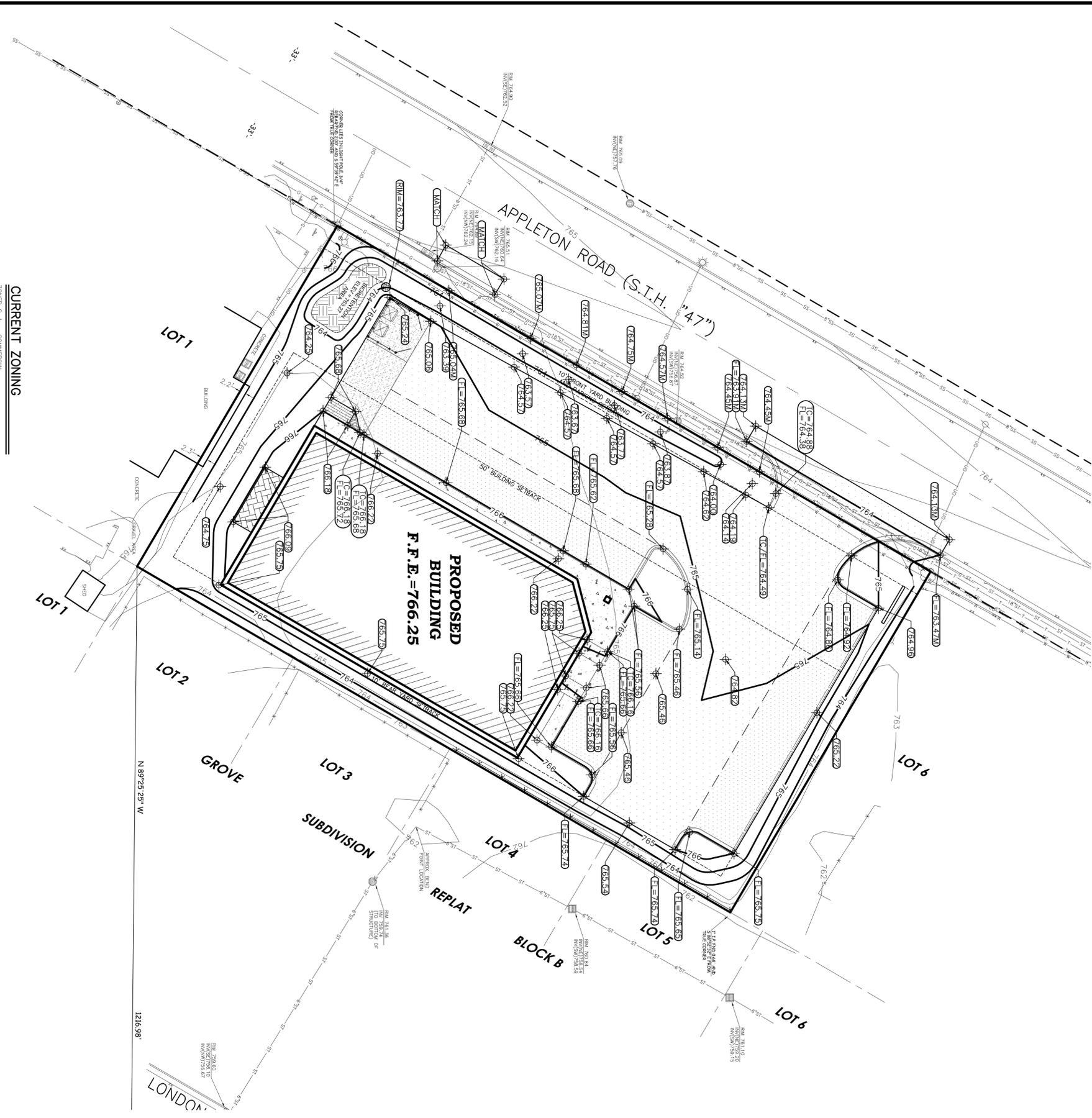
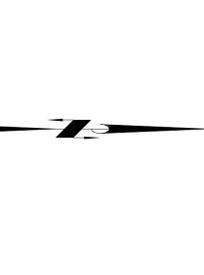
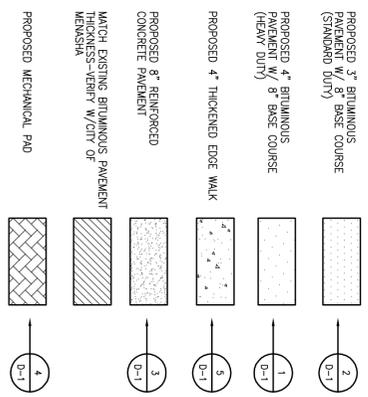
GRADING GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 766.25 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00.
4. SEE SHEET C-1 FOR ALL REQUIRED EROSION CONTROL ELEMENTS TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND BE INCLUDED IN THE BASE BID CONTRACT.
5. COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAL) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
6. ALL EARTHWORK SHALL BE DONE IN ACCORDANCE WITH COMM 82.21.
7. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS.
8. COORDINATE ALL WORK WITHIN THE APPLETON ROAD RIGHT-OF-WAY WITH THE CITY OF MENASHA.
9. COORDINATE ALL WORK WITHIN THE APPLETON ROAD RIGHT-OF-WAY WITH THE CITY OF MENASHA.

GRADING LEGEND



PAVEMENT HATCH PATTERNS:



CURRENT ZONING
 ZONED C-1 = COMMERCIAL
 CONVENT A MOUNT PARKING LOT

LEGAL DESCRIPTION
 BEING ALL OF LOTS 2, 3, 4, AND 5 OF BLOCK 4 OF GROVE SUBDIVISION, LOCATED IN THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 10 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

POINT OF BEGINNING, LLC AND ITS ENGINEERS IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

Land Surveying
 Engineering

5709 Windy Drive, Suite D
 Stevens Point, WI 54482
 715.344.9999(Ph) 715.344.9922(Fx)

DGI-MENASHA, LLC
DOLLAR GENERAL SITE
CITY OF MENASHA
WINNEBAGO COUNTY, WISCONSIN

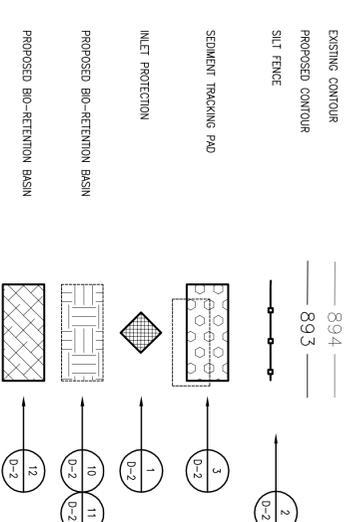
GRADING PLAN

DESIGNED BY:	JIM LINDBERG
DRAWN BY:	MELISSA KLOCK
DATE:	9/26/11
PROJECT NO.:	11.025

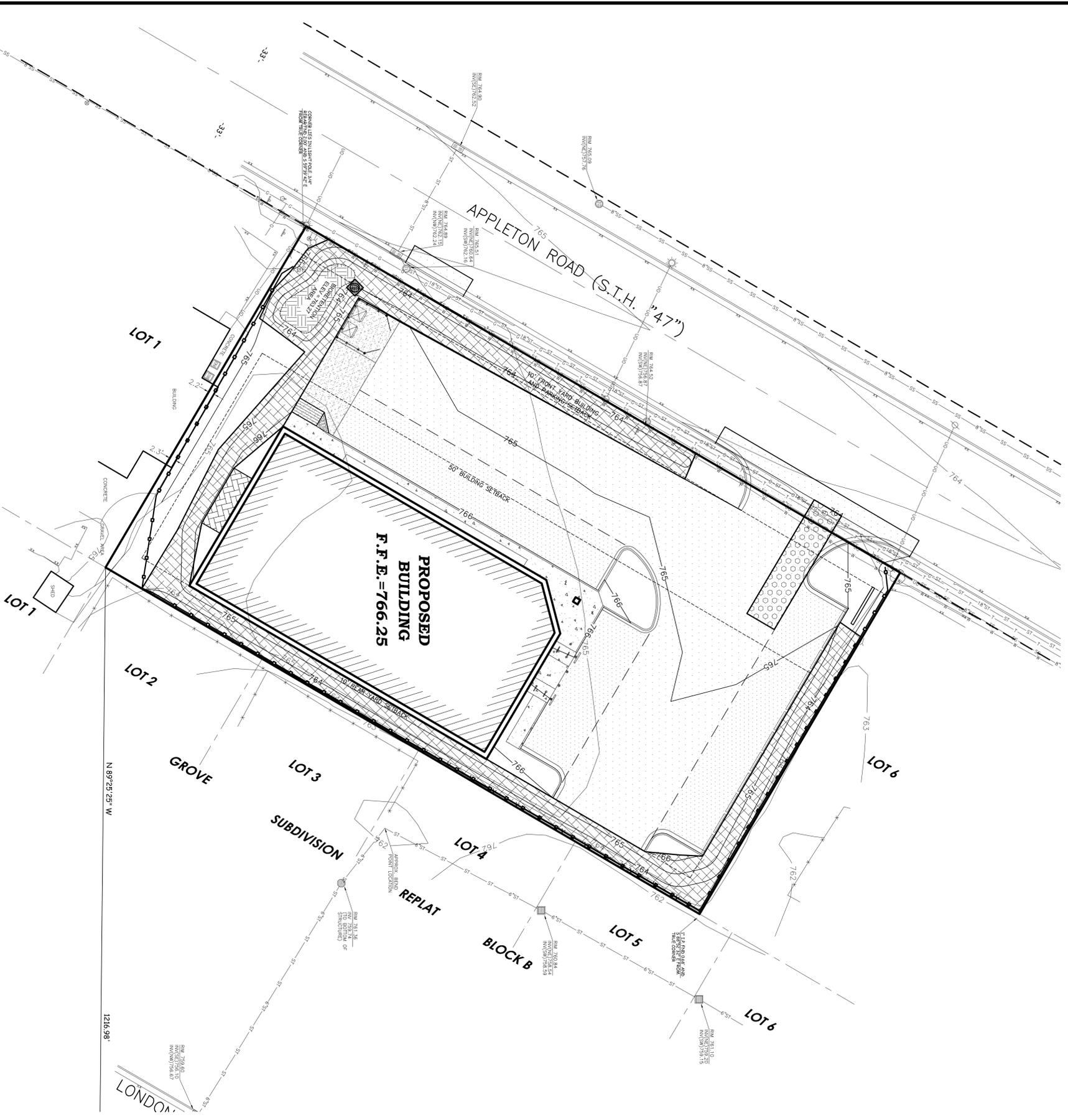
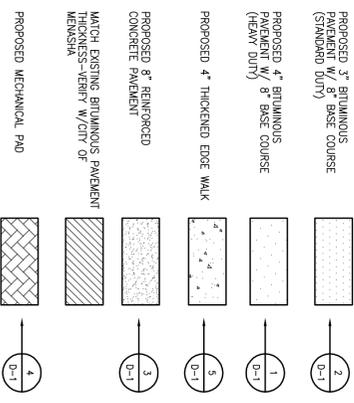
EROSION GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME.
4. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50' IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
5. OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES INCLUDING SOIL EROSION SHALL BE CLEANED UP BY THE END OF THE WORK DAY. SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
6. DISTURBED GROUND OUTSIDE OF THE EROSION CONTROL AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER METHODS APPROVED BY THE LOCAL MUNICIPALITY.
7. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
8. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
9. INSPECT DAILY. EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
10. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID TREATMENT BY A TEMPORARY SEDIMENT BASIN, OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.

EROSION CONTROL LEGEND:



PAVEMENT HATCH PATTERNS:

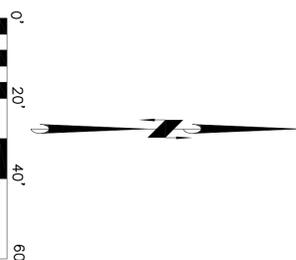


CURRENT ZONING
 ZONED C-1 = COMMERCIAL
 CONVENTIONAL A MIDWAY PARKING LOT

LEGAL DESCRIPTION

BEING ALL OF LOTS 2, 3, 4, AND 5 OF BLOCK 4 OF GROVE SUBDIVISION, LOCATED IN THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 10 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

POINT OF BEGINNING, INC. AND ITS ENGINEERS TO CONDUCT THE SURVEY AND TO PREPARE THIS PLAN. THE SURVEY WAS CONDUCTED ON 8/23/2025. THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE SURVEYING ACT AND RULES OF PROFESSIONAL CONDUCT, CHAPTER TRANS. 101, WISCONSIN STATUTES.

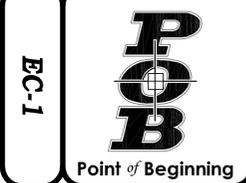


DESIGNED BY	JIM LINDBERG
CHECKED BY	MELISSA KLOCK
DATE	9/26/11
PROJECT NO.	11025

EROSION CONTROL PLAN

DGI-MENASHA, LLC
DOLLAR GENERAL SITE
CITY OF MENASHA
WINNEBAGO COUNTY, WISCONSIN

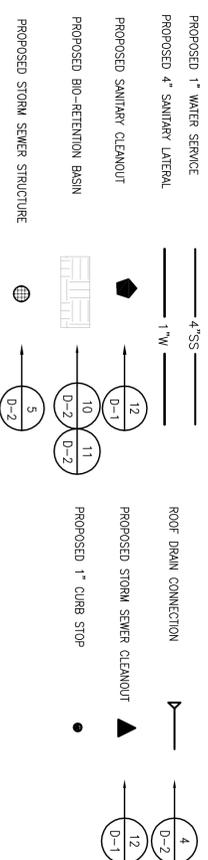
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GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. GRADE, ELEVATION, AND UTILITIES TO BE REVIEWED BY THE CONTRACTOR/ENGINEER. ALL UTILITIES NOT SHOWN HEREON SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
3. ALL UTILITIES SHALL BE RELOCATED AND/OR ADJUSTED AS NECESSARY TO ACCOMMODATE THIS PROJECT.
4. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY SEWER LATERAL.
5. COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUNITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
6. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH COM. 82.21.
7. THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-0" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES. SEE SHEET G-1 FOR PROPOSED GRADES.
8. ALL WATER SERVICE CONNECTIONS SHALL INCLUDE A CORPORATION STOP AT THE CONNECTION. THE CORPORATION STOP SHALL BE LOCATED AT THE POINT OF ENTRY TO THE PROPERTY.
9. THE TOWN OF MENASHA SHALL OPERATE ALL EXISTING WATER VALVES WHEN NEEDED.
10. FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.

UTILITY LEGEND:



STORM MANHOLE SCHEDULE:

ST#1	RM 763.77 INV. SE 760.69 INV. NW 760.69 DEPTH 3.08
SS#1	RM 768.10 INV. 768.03

SANITARY SEWER CLEAN OUT SCHEDULE:

CO#1	RM 764.50 INV.* 761.04	CO#2	RM 764.90 INV.* 761.42	CO#3	RM 763.35 INV.* 760.69
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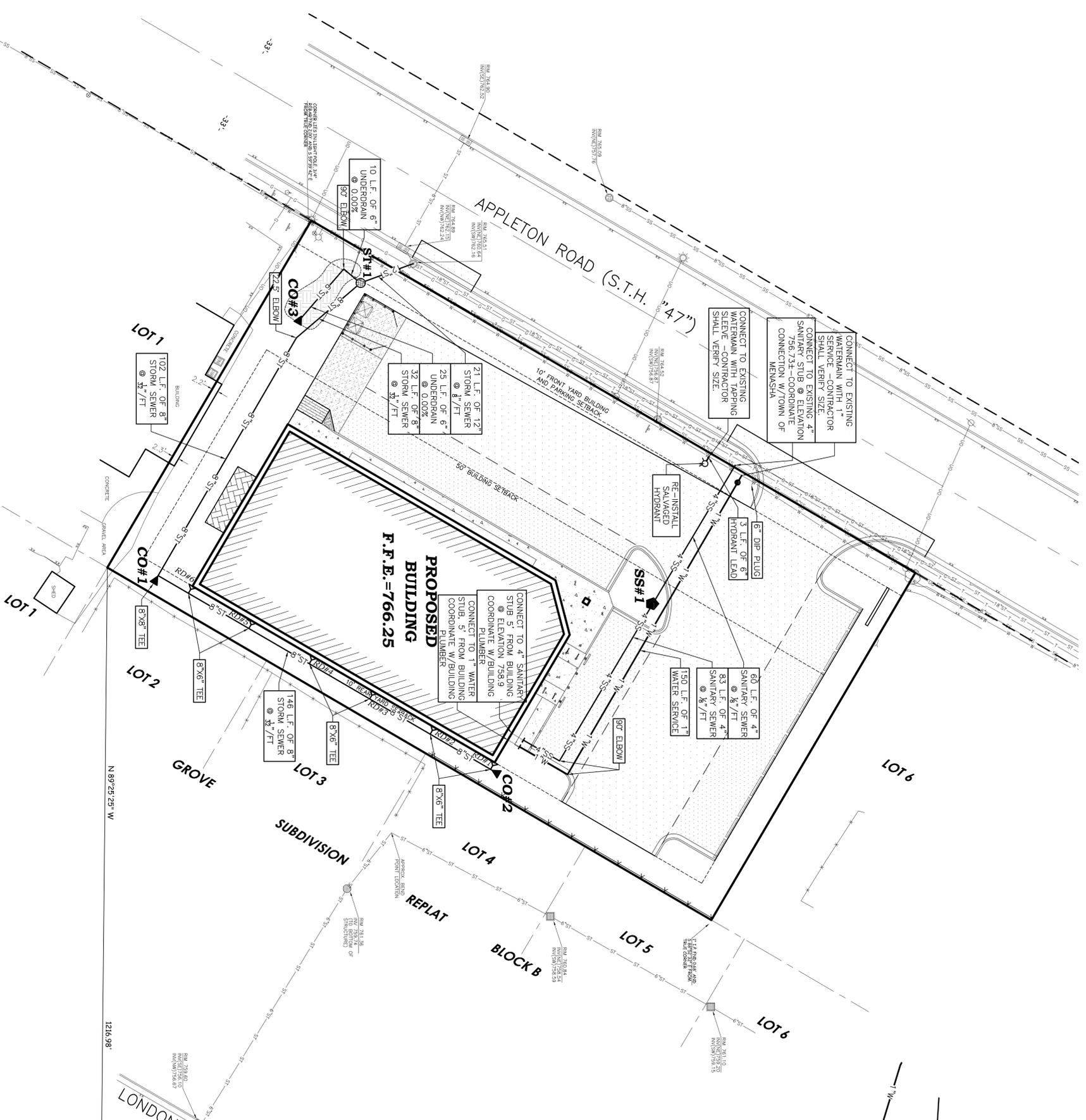
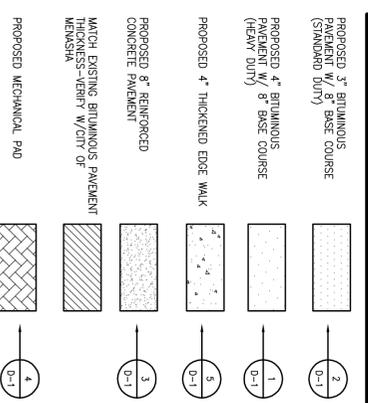
STORM SEWER CLEAN OUT SCHEDULE:

RD#1	RM 765.75 INV.* 761.41	RD#2	RM 765.75 INV.* 761.35	RD#3	RM 765.75 INV.* 761.28
RD#4	RM 765.75 INV.* 761.21	RD#5	RM 765.75 INV.* 761.14	RD#6	RM 765.75 INV.* 761.08

ROOF DRAIN CONNECTION SCHEDULE:

RD#1	RM 765.75 INV.* 761.41	RD#2	RM 765.75 INV.* 761.35	RD#3	RM 765.75 INV.* 761.28
RD#4	RM 765.75 INV.* 761.21	RD#5	RM 765.75 INV.* 761.14	RD#6	RM 765.75 INV.* 761.08

PAVEMENT HATCH PATTERNS:



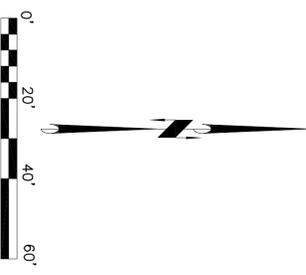
CURRENT ZONING

ZONED C-1 = COMMERCIAL
CORNERED A WAGON PARKING LOT

LEGAL DESCRIPTION

BEING ALL OF LOTS 2, 3, 4, AND 5 OF BLOCK 4 OF GROVE SUBDIVISION, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTH-EAST 1/4 OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 10 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

POINT OF BEGINNING, INC. AND ITS ENGINEERS IS A CONSULTING ENGINEERING FIRM. THIS PLAN IS THE PROPERTY OF POINT OF BEGINNING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF POINT OF BEGINNING, INC.



UTILITY PLAN

<p>DESIGNED: JIM LINDBERG DRAWN: MELISSA KLOCK DATE: 9/26/11 PROJECT NO.: 111025</p>	<p>DGI-MENASHA, LLC DOLLAR GENERAL SITE CITY OF MENASHA WINNEBAGO COUNTY, WISCONSIN</p>	<p>Land Surveying Engineering</p> <p>5709 Windy Drive, Suite D Stevens Point, WI 54482 715.344.9999(Ph) 715.344.9922(Fx)</p>
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GENERAL NOTES:

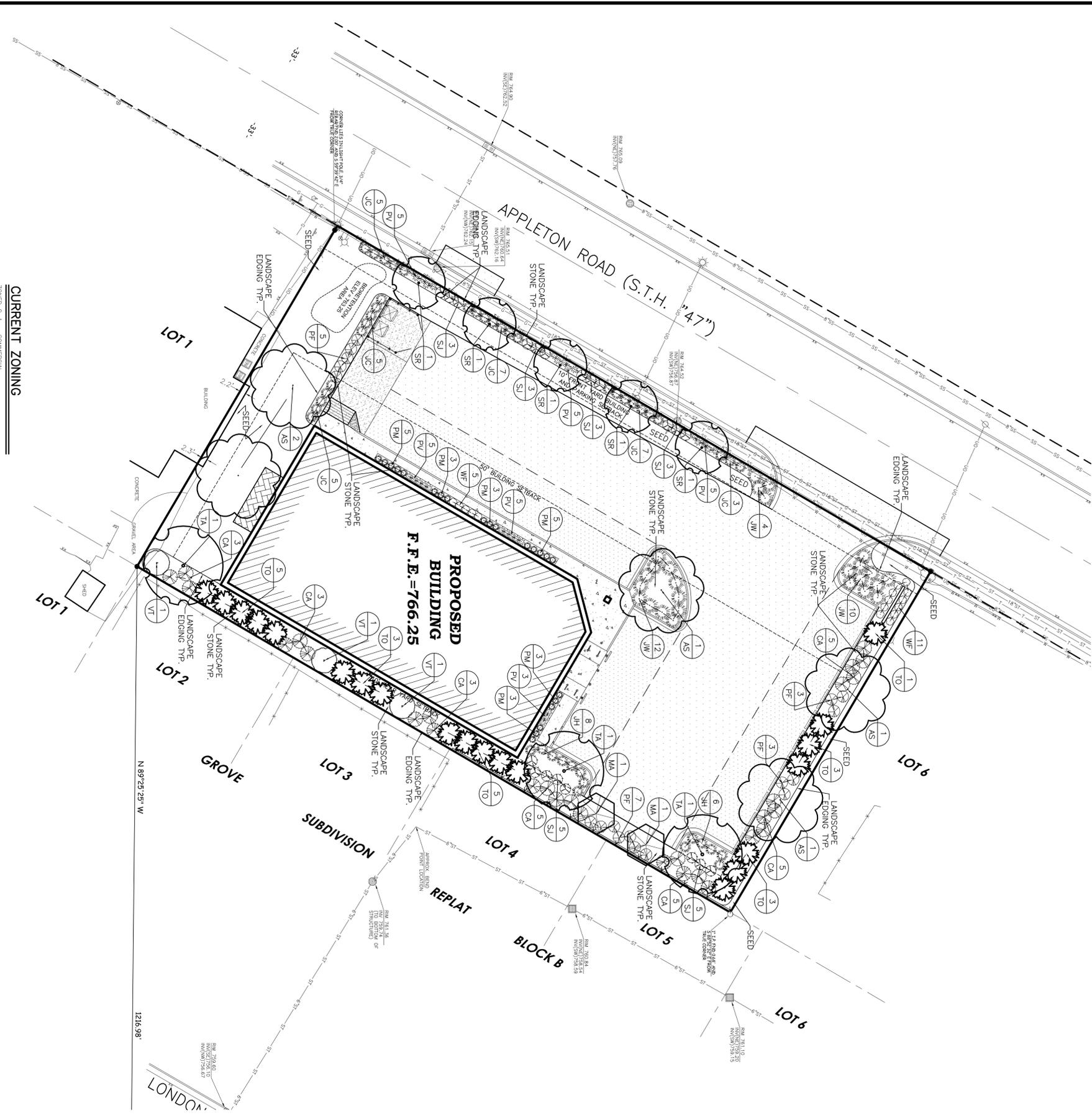
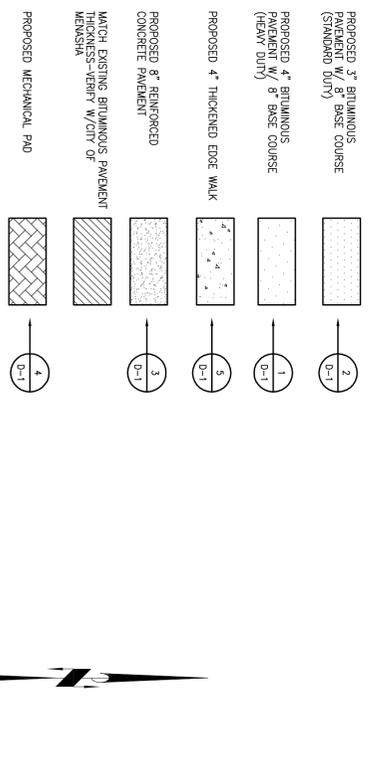
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. CONTRACTOR SHALL PROVIDE IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
3. SEED/FERTILIZE/GRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
4. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
5. ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
6. EDG-KING LANDSCAPE EDGING OR EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
7. ALL TREES IN THE TURF AREA SHALL HAVE A 5' DIAMETER CIRCLE OF 4" DEPTH OF SHREDED HARDWOOD BARK MULCH.
8. 3" DEPTH OF 3/4" DIAMETER DECORATIVE LANDSCAPE STONE SHALL BE PLACED IN ALL SHRUB PLANTING BEDS. COLOR TO BE SELECTED BY THE OWNER.
9. FILTER FABRIC SHALL BE PLACED BENEATH ALL DECORATIVE LANDSCAPE STONE.
10. COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDENS AND SIGNAL) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANTING SCHEDULE:

TREES SYMBOLS	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	QUANTITY
AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2" CAL.	5
MA	MAULUS ADRONODACK	ADRONODACK FLOWERING GRAB	1 1/2" CAL.	2
SR	STRINGA RETICULATA 'MORY SILK'	IVORY SILK TREE LILAC	2" CAL.	3
TA	TILIA AMERICANA REDMOND	REDMOND LINDEN	2" CAL.	3
SHRUBS SYMBOLS	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE (HEIGHT)	QUANTITY
CA	CORNUS ALBA 'BAUHAUO'	IVORY HALO DOGWOOD	18"-24"	24
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"-24"	32
JH	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	12"-15"	14
JW	JUNIPERUS HORIZONTALIS 'WISCONSIN'	WISCONSIN JUNIPER	4"-6"	26
PF	POTENTILLA FRUTICOSA 'JACKMANI'	JACKMAN POTENTILLA	12"-15"	18
PM	SNYDUS MUCO 'TEENY POTENTILLA'	TEENY MUCO PINE	9"-12"	22
PJ	SPYRALIS 'TECHNY'	TECHNY ARBORVITAE	18"-24"	22
TJ	THUNBERGIA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	4"-5"	20
VT	VIBURNUM TRILOBUM	AMERICAN CRANBERRYBUSH	4"-5"	3
WF	WEIGELA FLORIDA 'MINUET'	MINUET WEIGELA	12"-15"	16

ORNAMENTAL GRASS SYMBOLS	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	QUANTITY
PV	PANICUM VIRGATUM 'NORTH WIND'	NORTH WIND RED SWITCH GRASS	1 GAL.	28

PAVEMENT HATCH PATTERNS:



CURRENT ZONING

ZONED C-1 = COMMERCIAL CORNER LOT A FRONT PARKING LOT

LEGAL DESCRIPTION

BEING ALL OF LOTS 2, 3, 4, AND 5 OF BLOCK 4 OF GROVE SUBDIVISION, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTH-EAST 1/4 OF SECTION 11, TOWNSHIP 20 NORTH, RANGE 10 WEST, COUNTY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

POINT OF BEGINNING, INC. AND ITS ENGINEERS IN CONNECTION WITH THIS PROJECT HAS BEEN LICENSED UNDER THE PROFESSIONAL LAND SURVEYING ACT, CHAPTER VER. 19.01, STATUTES OF THE STATE OF WISCONSIN, AND IS NOT PROVIDING ARCHITECTURAL, ENGINEERING OR OTHER PROFESSIONAL SERVICES. FOR MORE INFORMATION CONTACT: POINT OF BEGINNING, INC. 1500 WISCONSIN STREET, MENASHA, WISCONSIN 54951. PHONE: 920.733.1111. FAX: 920.733.1112. WWW.POBI.COM



POB
Point of Beginning
LA-1

Land Surveying Engineering
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999(Ph) 715.344.9922(Fx)

DGI-MENASHA, LLC
DOLLAR GENERAL SITE
CITY OF MENASHA
WINNEBAGO COUNTY, WISCONSIN

LANDSCAPE PLAN

CHECKED: JIM LINDBERG
 DRAWN: MELISSA KLOCK
 DATE: 9/26/11
 PROJECT NO.: 11.025

CHECKED:	JUL LINDBERG
DRAWN:	MELISSA KLUCK
DATE:	5/26/11
PROJECT NO.:	11088

DETAIL SHEET

**DGI-MENASHA, LLC
DOLLAR GENERAL SITE
CITY OF MENASHA
WINNEBAGO COUNTY, WISCONSIN**

Land Surveying
Engineering
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999(Ph) 715.344.9922(Fx)



1. INLET PROTECTION

INSTALLATION

- REMOVE INLET GRATE
- PLACE FABRIC OVER THE TOP OF THE CASTING PLACE THE GRATE BACK IN PLACE KEEPING A MINIMUM OF 8" OF FABRIC EXTENDING ON ALL SIDES.

MAINTENANCE

GRATES ARE DESIGNED TO MAINTAIN FLOW AND NOT CUT OR RIP FABRIC. TO INSPECT A GRATE, USE 6" DIAMETER WOOD POSTS TO PROBE THE SURFACE OF THE FABRIC. IF THE FABRIC IS DAMAGED OR WEAR IS OBSERVED, THE GRATE SHOULD BE REMOVED AND THE FABRIC REPLACED. FABRIC DAMAGED BY PROPERTIES MAY BE DAMAGED BY PENNING WATER ELEVATIONS ON ADJACENT BUILDINGS OR PROPERTIES MAY BE DAMAGED BY PENNING WATER ELEVATIONS ON ADJACENT AREAS THAT MAY BE DAMAGED BY FLOODING.

GENERAL NOTES

USE ONLY GEOTEXTILE FABRICS ON THE APPROVED V.I. DET EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PALS) THAT HAVE BEEN APPROVED FOR USE AS INLET PROTECTION.

2. SILT FENCE

GENERAL NOTES:

CONSTRUCTION DETAIL NOT SHOWN ON THIS DRAWING SHALL CONFORM TO REQUIREMENTS SET BY LOCAL GOVERNING AUTHORITIES AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES. IF POSSIBLE, THE SILT FENCE SHOULD BE INSTALLED IN AN ARE OR HORSESHOE SHAPE TO PREVENT FLOODING OF THE SITES. EXCAVATE A TRENCH 4" WIDE AND 6" DEEP TO ANCHOR THE GEOTEXTILE FABRIC. GEOTEXTILE MATERIAL TO FIT TRENCH THEN BACKFILL AND COMPACT TRENCH WITH EXCAVATED MATERIAL. REMOVE EXISTING GEOTEXTILE MATERIAL WITH AN INDUSTRIAL POLYPROPYLENE MATTING WITH A MAXIMUM WEIGHT OF 32 OZ/SQ. YD. EQUAL IN ADDITION A HEAVY-DUTY NYLON TYP MATTING WITH A MAXIMUM WEIGHT OF 32 OZ/SQ. YD. EQUAL. USE 1" TYPE WITH A MINIMUM BEARING OF 128 LBS/INCH² (MINIMUM ANCHOR) FINISH ANCHORS RESISTANT TO POST MOVEMENT ARE REQUIRED.

4. WOOD POSTS SHALL HAVE A MINIMUM SIZE OF 4" DIAMETER OR 1 1/2" X 3 1/2".

3. SEDIMENT TRACKING PAD

NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT PERIODICALLY.
- WHEN NECESSARY, WEEDS SHALL BE CLEARED PRIOR TO ENTRANCE AND PUBLIC RIGHT-OF-WAYS.
- WHEN NECESSARY, WEEDS SHALL BE CLEARED PRIOR TO ENTRANCE AND PUBLIC RIGHT-OF-WAYS.
- BRUSH AND IN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

4. ROOF DRAIN CONNECTION

5. STORM MANHOLE

6. TREE INSTALLATION

DO NOT CUT CENTRAL LEADER

4" GAUZE FILT. W/ MULCH & WATER IMMEDIATELY AFTER PLANTING

2 STRAWS @ 12 GAUZE PLIABLE STEEL WIRE

NEW 3/4" DIA. RUBBER HOSE

TOP OF ROOTBALL TO MATCH PREVIOUS GROWING CONDITIONS

APPROVED TREE WRAPPING ON CLEAR TRUNK

REMOVE TOP 1/3 BURLAP

6" TOPSOIL

BETON 2" x 2" x 2" ANCHOR DRIVEN 1' PLANTER SOIL MIXTURE

PLANTER SOIL MIXTURE

6" MIN. PLANTER SOIL MIXTURE

SCARIFY BEFORE PLANTING

FILT. W/ PLANTER SOIL MIXTURE

7. SHRUB INSTALLATION

DO NOT PRUNE BEFORE ACCEPTANCE

FORM SAUCER W/ TOPSOIL TO HOLD WATER

COVER SAUCER W/ 3" MULCH

REMOVE TOP 1/3 BURLAP

TOPSOIL MIXTURE TAMPED

NOTE:

SPRINGS OF SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY

REMOVE EXISTING STONES, GRAVEL, AND BEDS AND REPLACE WITH ACCEPTABLE OTHER DEBRIS FROM PROPOSED LANDSCAPE INSTALLATION OF PLANTS

8. SHADOWBOX PRIVACY FENCING

STRAIGHT SHADOWBOX PRIVACY FENCING

RINE LOSS GALVANIZED NAILS FOR FASTENING ALTERNATES, GIBBS WOOD ON SYNTHETIC FENCING

SPACING 2"-4"

TOP VIEW 8'-0" MAX. POST SPACING

FRONT VIEW

REAR VIEW

NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACING BETWEEN OF BOARDS ACTUAL WIDTH

9. 24" CONCRETE CURB

10. BIO-RETENTION BASIN

3" SHREDED HARDWOOD MULCH OR CHIPS, AGED A MINIMUM OF 12 MONTHS

24" ENGINEERED SOIL

12" SAND

ELEV.=763.277

UNDERDRYAN 4" W/FILTER SOCK INV.=760.89

INV. 12" (NW)=812.82

INV. 6" (SW)=812.82

NOTE:

- ENGINEERED SOIL MIXTURE OF 50% PERCENT SAND AND 50% COMPOST
- SEE PROJECT MANUAL SPECIFICATIONS FOR ENGINEERED SOIL LAYER REQUIREMENTS

11. BIO-RETENTION PLANTING SCHEDULE

NOTE:

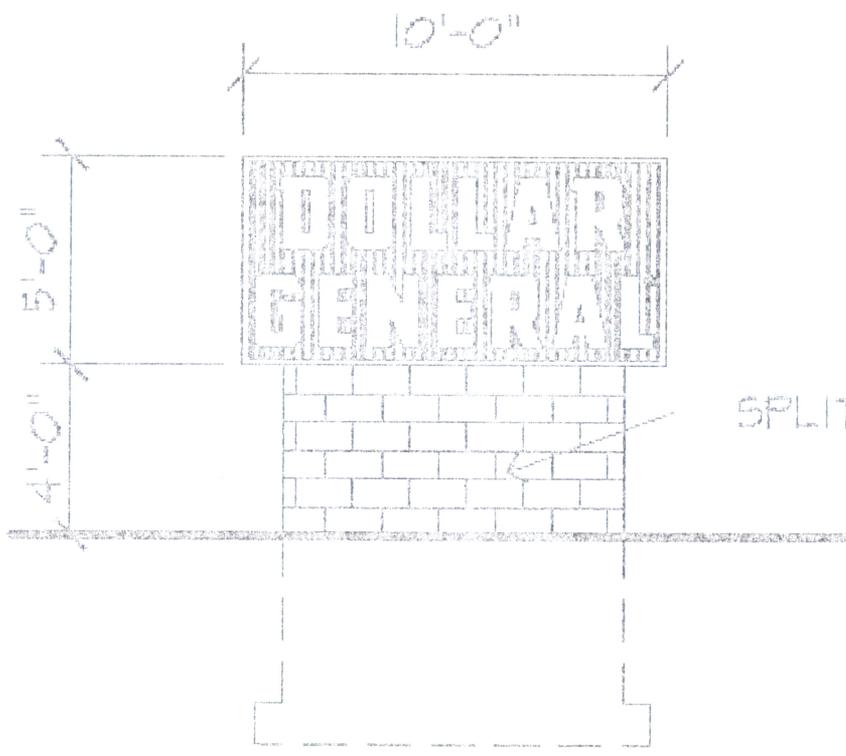
SELECT FOUR PLANT SPECIES FOR CLUSTERS **1 PLUG FOR EVERY 5 SQUARE FEET

BOTANICAL NAME	COMMON NAME	PLANT CLUSTER	SIZE	TOTAL
ASCLEPIAS INCARNATA	RED MILKWEEED	A	PLUG	66
HELENIUM AUTUMNALE	SNEEZEWEED	B	PLUG	161
IRIS VERSICOLOR	BLUE FLAG IRIS	C	PLUG	34
CHELONE GLABRA	TURTLEHEAD	D	PLUG	40
LIATRIS Pycnonotcha	PRairie BLAZINGSTAR			
LOBELIA CARDINALIS	CARDINAL FLOWER			

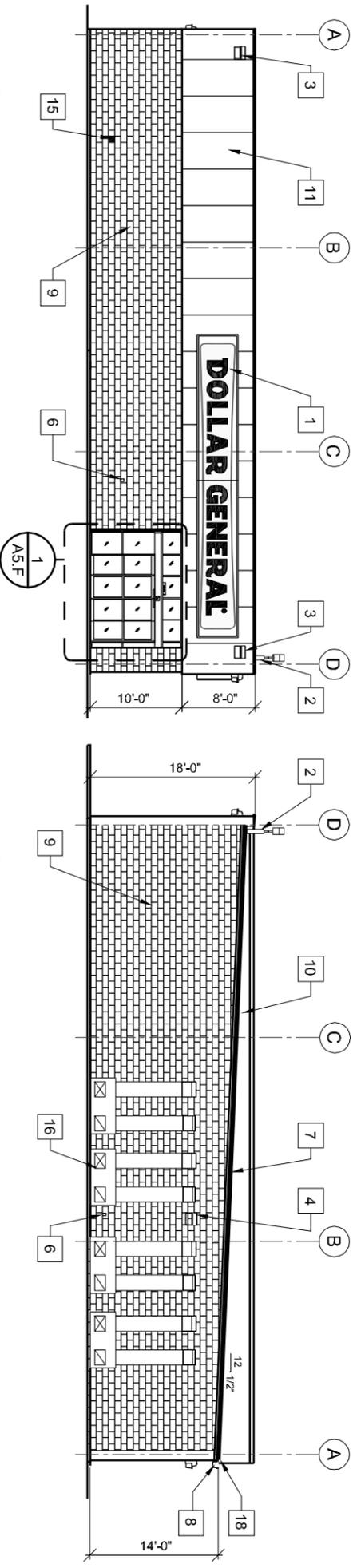
12. EROSION CONTROL BLANKET

GENERAL NOTES:

- EROSION CONTROL BLANKETS INCLUDING APPLICATION OF LIME, FERTILIZERS AND NUTRIENTS SHALL BE INSTALLED IN THE DIRECTION OF WATER FLOW.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED IN THE DIRECTION OF WATER FLOW.
- WHEN THE BLANKETS OWN THE SCOUR IN THE DIRECTION OF THE WATER FLOW.
- THE SCOUR OF PARALLEL BLANKETS MUST BE STAGED WITH PROGRESSIVE 2" OVERLAP WITH APPROXIMATELY 6" OVERLAP STAGE THROUGH OVERLAP AREA APPROXIMATELY 12" WIDE.

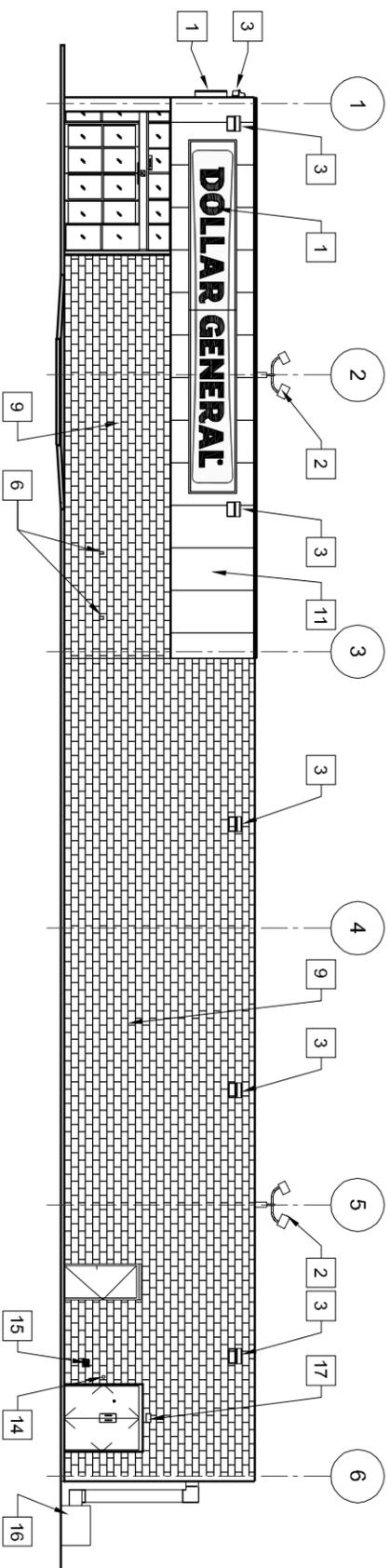


SPLITFACE CONG. BLOCK

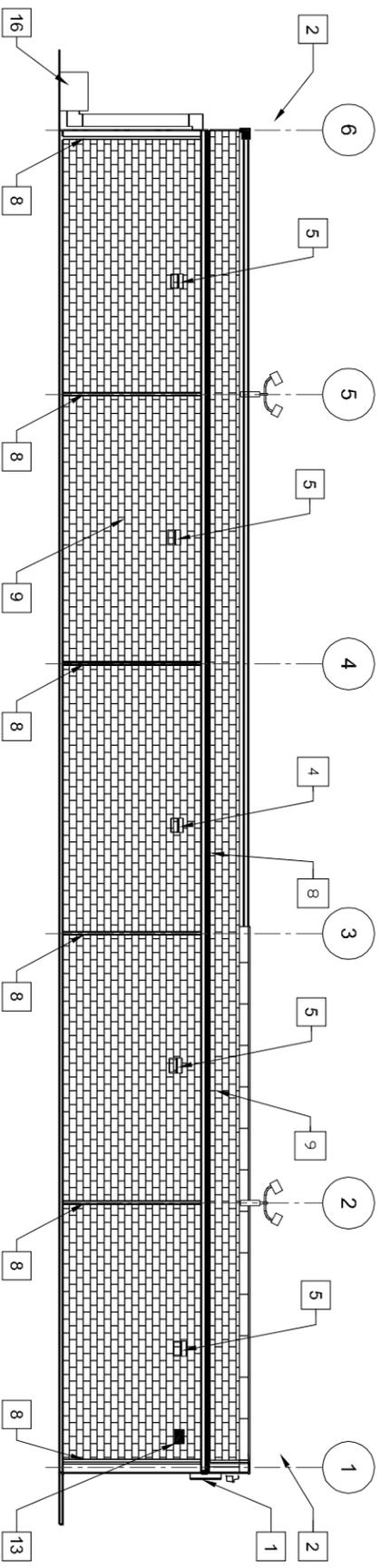


1 LEFT ELEVATION
A2.F
N.T.S.

2 RIGHT ELEVATION
A2.F
N.T.S.



3 FRONT ELEVATION
A2.F
N.T.S.



4 REAR ELEVATION
A2.F
N.T.S.

ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 2 BIDIRECTIONAL SECURITY LIGHT FULL CUTOFF DESIGN DIRECTED DOWNWARDS
- 3 WALL PACK: 18'-6" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 WALL PACK: 12'-0" A.F.F. TO TOP OF WALL PACK (FULL CUTOFF DESIGN)
- 5 WALL PACK: (ALTERNATE PARKING LIGHT) REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. REQUIRED ONLY IF THERE IS PARKING THIS SIDE OF BUILDING.
- 6 RECEPTACLE: REFER TO E1 FOR ADDITIONAL INFORMATION.
- 7 TRIM - SEE SHEET S1 FOR COLOR
- 8 GUTTER AND DOWNSPOUT - SEE SHEET S1 FOR COLOR
- 9 BRICK MASONRY UNIT. (COLOR TO BE DETERMINED)
- 10 METAL ROOF. GALVALUME FINISH.
- 11 FASCIA PANEL. COLOR: PATRICIAN BRONZE KYNAR 500
- 12 IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
- 13 VENT FOR BATHROOM EXHAUST. REFER TO M1 FOR ADDITIONAL INFORMATION.
- 14 DOOR BUZZER. REFER TO E1 FOR ADDITIONAL INFORMATION.
- 15 WALL HYDRANT. REFER TO P1 FOR ADDITIONAL INFORMATION.
- 16 HVAC UNITS. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- 17 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 18 MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.

DOLLAR GENERAL®

PROTOTYPE PLAN "F"

PRELIMINARY - NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

DATE

05-26-2011

SHEET NUMBER

A2.F

Luminaire Schedule						
Symbol	Qty	Label	Description	Arrangement	Lumens	LLF
	4	MFHID-WPF-70MH	70W Full Cutoff Wall Pack	SINGLE	5500	0.940
	7	MFHID-PLL-150MH SBL	150W Parking Lot Lighting w. SBL	SINGLE	13300	0.940
	1	Canopy Strips	Strip	SINGLE	2900	0.940

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Uniformity Ratio
Canopy CalcPts	Illuminance	Fc	10.33	13.5	6.6	1.57
Parking Lot CalcPts	Illuminance	Fc	2.99	5.0	0.6	4.98
Site CalcPts	Illuminance	Fc	0.25	4.1	0.0	N.A.

BOM Schedule		
Qty	Part Number	Description
4	MFHID-WPF-70MH	70W Full Cutoff Wall Packs
7	MFHID-PLL-150MH	150W Parking Lot Lighting ***NOTE: DO NOT tilt fixtures up, keep at 0 degree horizontal plane.
7	HW-HID-PLL-400MOUNT	Single Tenon Mounting Bracket
7	HW-HID-20POLE4	20' Parking Lot Pole
7	HW-HID-PLL-SBL16	Backlight Shield for PLL

Dollar General
Menasha, WI

CONFIDENTIAL INFORMATION Please Note: This data is based upon certain specific assumed reflectances and characteristics of the proposed environment. Any deviation from these reflectances or assumed characteristics may affect the actual performance of the luminaries. Based on the factors, Harris Manufacturing, Inc. can not guarantee these results.

Harris Lighting
4035 Reynolds Blvd
Green Cove Springs, FL 32043
Tel: (904) 284-1220 x262
Email: bhartt@harrislighting.com



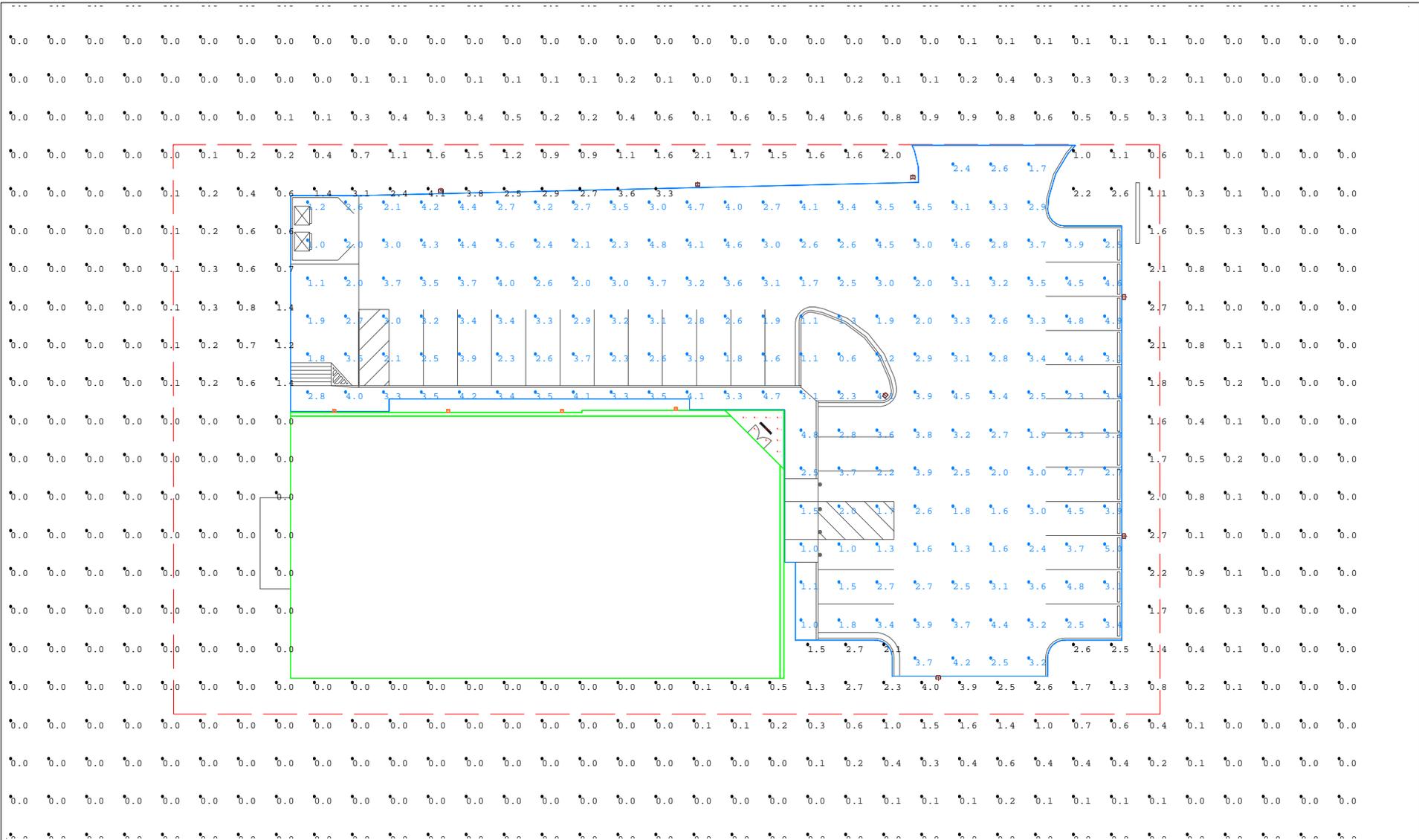
Luminaire Location Summary			
Label	Fix. Ht.	Orient	Tilt
Canopy Strips	10	135	0
MFHID-PLL-150MH SBL	20	180	0
MFHID-PLL-150MH SBL	20	180	0
MFHID-PLL-150MH SBL	20	270	0
MFHID-PLL-150MH SBL	20	270	0
MFHID-PLL-150MH SBL	20	270	0
MFHID-WPF-70MH	16.5	90	0
MFHID-WPF-70MH	16.5	90	0
MFHID-WPF-70MH	16.5	90	0
MFHID-WPF-70MH	16.5	90	0
MFHID-PLL-150MH SBL	20	90	0
MFHID-PLL-150MH SBL	20	321.074	0

Dollar General
Menasha, WI

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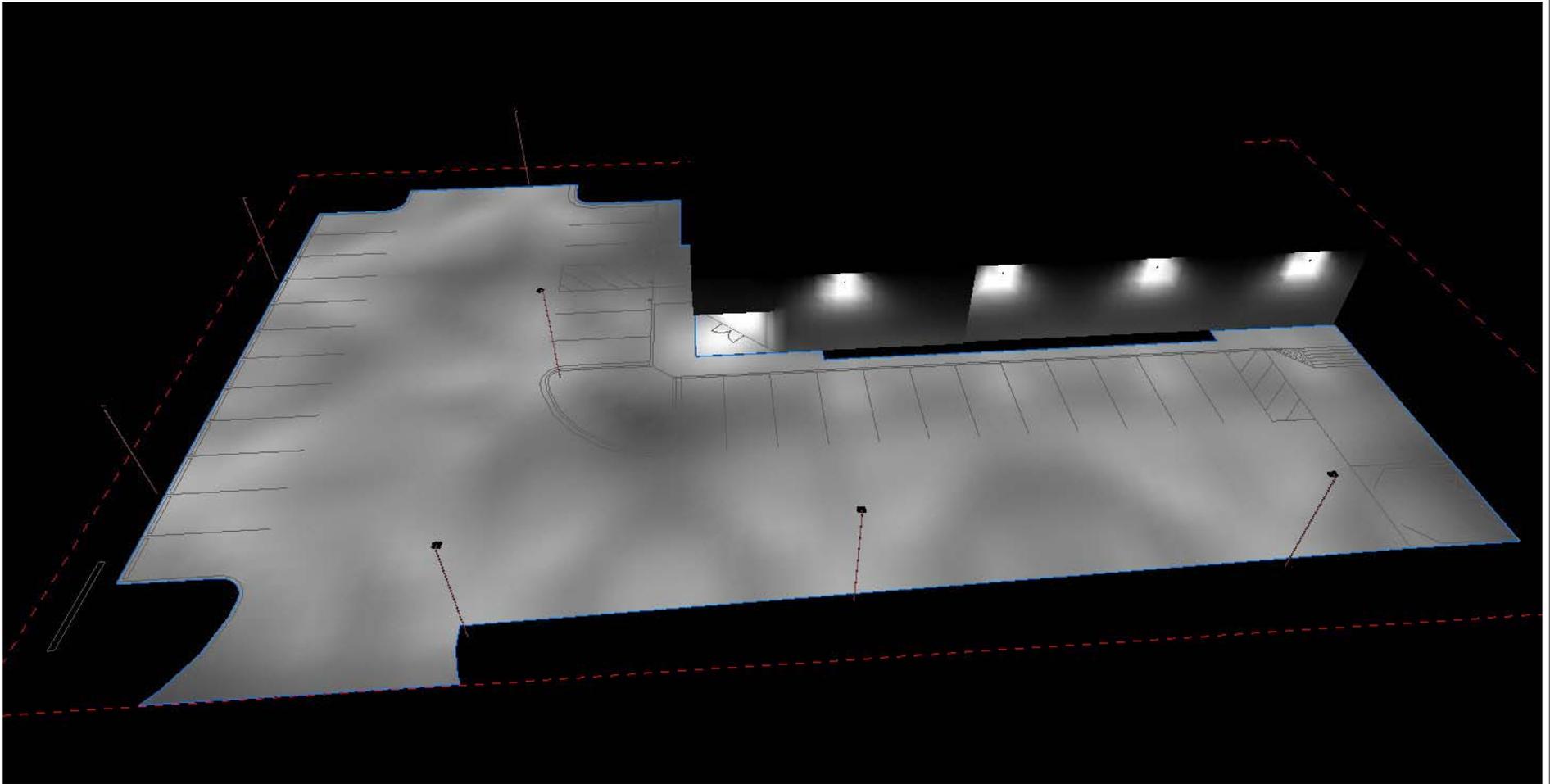


Dollar General
Menasha, WI

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Dollar General
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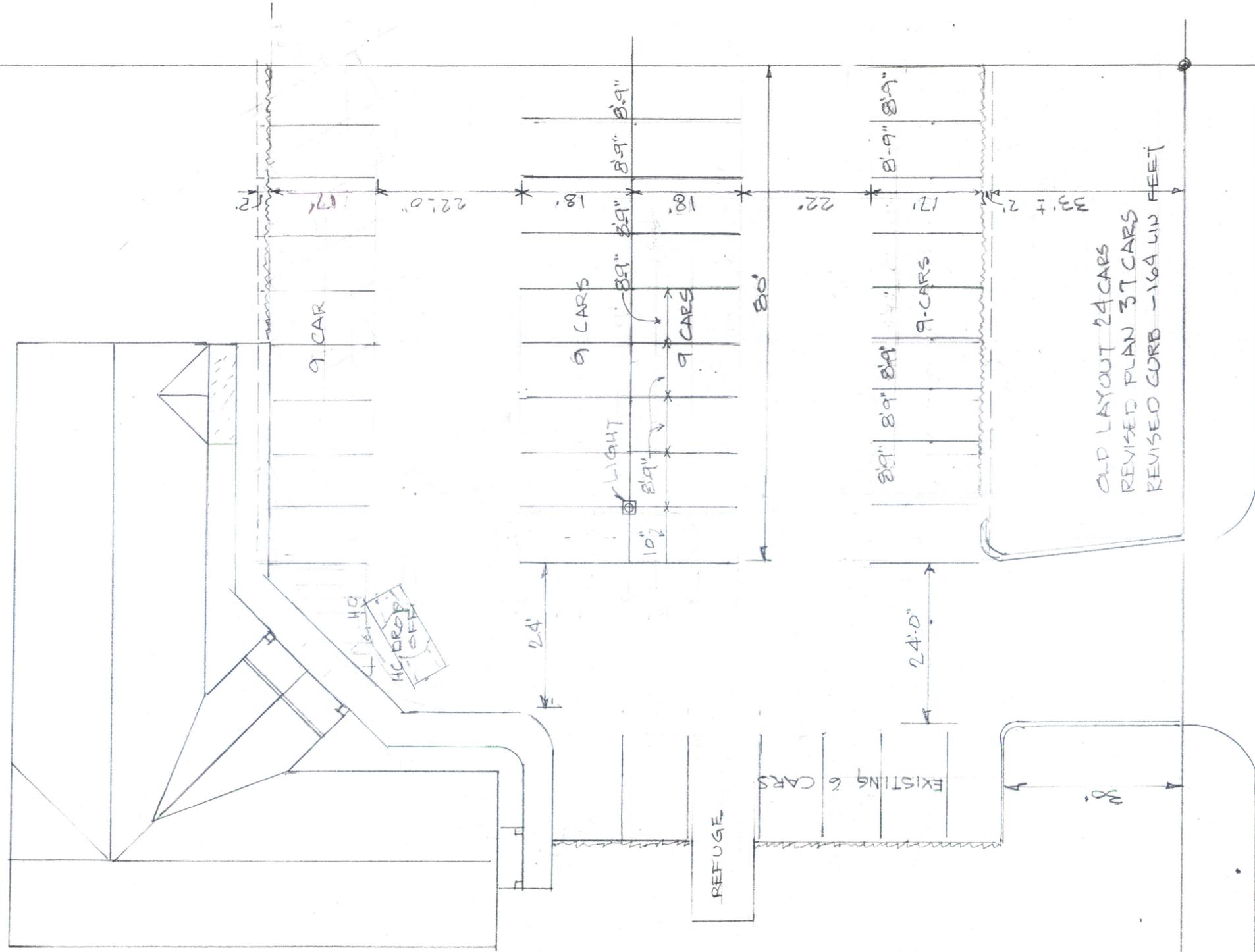
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Date:6/1/2011

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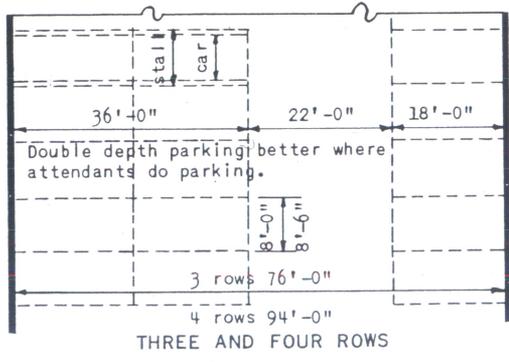
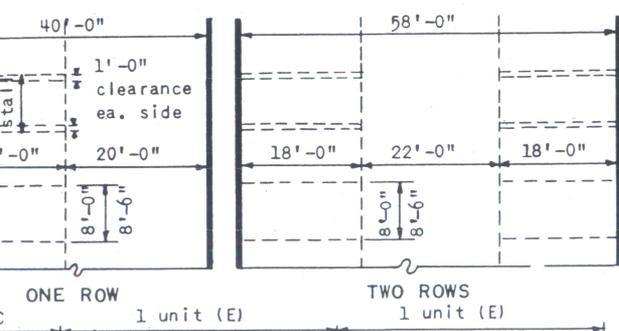


1427 PROVINCE TERRACE DRIVE

SITE PLAN 20' = 1"

REVISED PARKING PLAN FOR SALON ETERNITY	MAY 25-2011
OFFICE OF STANLEY JON BYE - ARCHITECT	
950 GAIL AVE - NEENAH, WI. 54956	
PH. 910.722.5577	

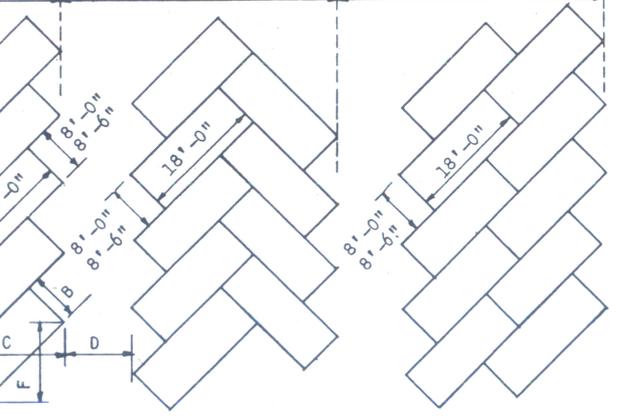
GARAGE and LOT PARKING



18'-0"
6'-6"

Assumed average size. Larger cars may protrude into aisle; will have less space for door swing.

AVERAGE CAR
No allowance has been made for columns on this page. Allow 1'-0"±

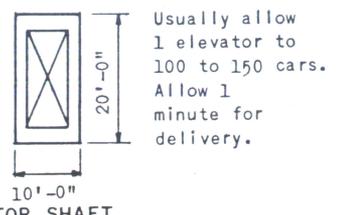
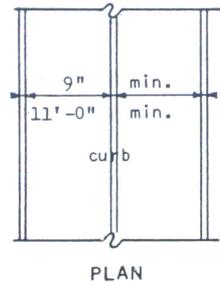
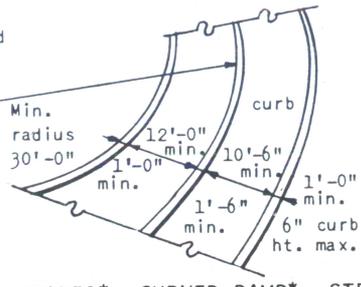
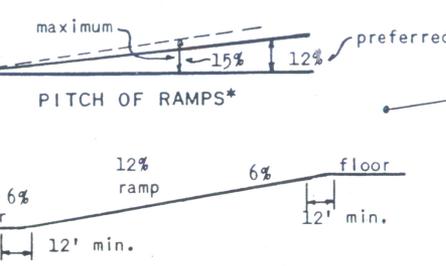


RECOMMENDED STALL & AISLE DIMENSIONS							
A	Direction of parking	B	C	D	E	No. of stalls in length X	Area per car sq. ft.
90°	back-in	8'-0"	18'-0"	22'-0"	58'-0"	$\frac{X}{8}$	232
60°	back-in	8'-0"	18'-10"	17'-4"	55'-0"	$\frac{X-11}{9.25}$	254
45°	drive-in	8'-0"	17'-2"	12'-8"	47'-0"	$\frac{X-17}{11.3}$	266
90°	back-in	8'-6"	18'-0"	22'-0"	58'-0"	$\frac{X}{8.5}$	247
60°	back-in	8'-6"	18'-10"	18'-4"	56'-0"	$\frac{X-11}{9.8}$	270
45°	drive-in	8'-6"	17'-2"	12'-8"	47'-0"	$\frac{X-17}{12}$	282

unit Parking Depth (clear span construction). Angle-parking not feasible indoors; should be used only where space not permit an integral number of 90° unit Parking stalls.

ANGLE-PARKING*

Use 8'-0" for attendant parking; 8'-6" for customer parking.

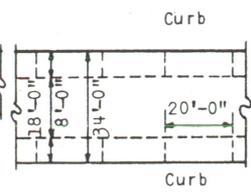
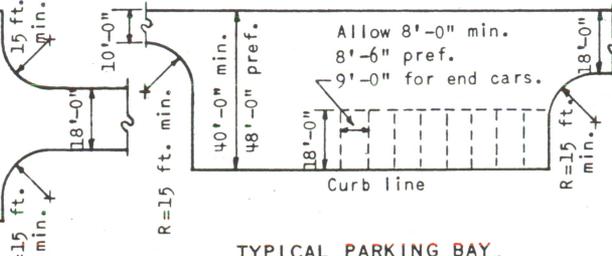
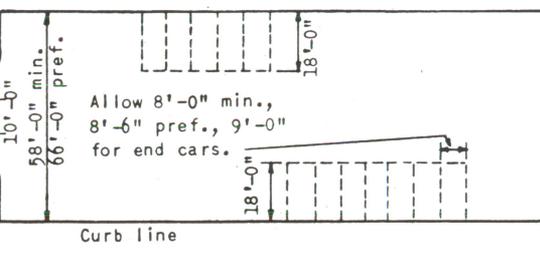


BLENDING RAMP & FLOOR GRADES* CURVED RAMP* STRAIGHT RAMP* ELEVATOR SHAFT

DATA FOR COMMERCIAL GARAGES

from "The Traffic Design of Parking Garages" by E. R. Ricker, published by the Eno Foundation. When clear span (see "E" in above) is not available, use 25'-6" between column faces. Clear ceiling height 7'-6". Floor-to-floor height 8'-6" to 10'-0". Elevation of curved ramps 0.1 to 0.15 foot per foot.

Provide extra width for walks along side of parking bay to compensate for bumper overhang.



TYPICAL PARKING BAY, 90° PARKING EACH SIDE

TYPICAL PARKING BAY, 90° PARKING ONE SIDE
Allow 9'-0" for each additional lane in road or drive

TYPICAL 2-LANE DRIVE, PARALLEL PARKING EACH SIDE

OFF-STREET PARKING