

A QUORUM OF THE ADMINISTRATION COMMITTEE, BOARD OF PUBLIC WORKS, PARK BOARD, AND/OR COMMON COUNCIL MAY ATTEND THIS MEETING; (ALTHOUGH IT IS NOT EXPECTED THAT ANY OFFICIAL ACTION OF ANY OF THOSE BODIES WILL BE TAKEN).

CITY OF MENASHA
Plan Commission
Council Chambers, 140 Main Street, Menasha
August 12, 2008

3:30 PM

AGENDA

 [← Back](#)  [Print](#)

3:30 PM - Public Hearing - Special Use Permit - Heckrodt Wetland Reserve - 1305 Plank Road

1. CALL TO ORDER

A. Call to Order

B. 3:30 PM - Public Hearing - Special Use Permit - Heckrodt Wetland Reserve - 1305 Plank Road

2. ROLL CALL/EXCUSED ABSENCES

A.

3. MINUTES TO APPROVE-MINUTES & COMMUNICATIONS TO RECEIVE

Minutes to approve:

A. Minutes of the July 22, 2008 Plan Commission meeting.

[Attachments](#)

4. PUBLIC COMMENTS ON ANY MATTER OF CONCERN TO THE CITY

Five (5) minute time limit for each person

A.

5. DISCUSSION

A. None

6. ACTION ITEMS

A. Special Use Permit - Heckrodt Wetland Reserve - 1305 Plank Road

[Attachments](#)

B. Certified Survey Map Review - Kernan Avenue

[Attachments](#)

C. Certified Survey Map - Appleton Road - Town of Menasha - Extraterritorial

[Attachments](#)

D. Retention of the Southerly 150' of Lot 10 of the Province Terrace Plat for Public Greenspace

[Attachments](#)

E. Certified Survey Map - Lake Park Road - George Hansel

[Attachments](#)

7. ADJOURNMENT

A. -

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Plan Commission
Council Chambers, 3rd Floor City Hall - 140 Main Street, Menasha
July 22, 2008

DRAFT MINUTES

1. CALL TO ORDER

Mayor Merkes called the meeting to order at 3:34 p.m.

No one from the gallery spoke.

No one from the gallery spoke.

2. ROLL CALL/EXCUSED ABSENCES

A.

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, DPW Radtke, Ald. Benner, and Commissioners Cruickshank, Schmidt, Sturm and Sanders.

OTHERS PRESENT: CDD Keil, AP Beckendorf, Ken Kubiak, Michael Hagens, Peggy Heller, John F. Lindsay III, Steven Dietzen, Tom Marshall, and Mike King of *The Post-Crescent*.

3. MINUTES TO APPROVE-MINUTES & COMMUNICATIONS TO RECEIVE

Minutes to approve:

A. July 8, 2008 Plan Commission Meeting Minutes

Moved by Comm. Sanders, seconded by Comm. Sturm to approve the July 8, 2008 Plan Commission meeting minutes.

Motion Carried on voice vote

Results:

4. PUBLIC COMMENTS ON ANY MATTER OF CONCERN TO THE CITY

Five (5) minute time limit for each person

A.

Peggy Heller, 1156 Fieldview, inquired about the plans for the property that is proposed to be rezoned to C-3.

Michael Hagens, property owner adjacent to the proposed dog kennel, shared his concerns and spoke in opposition to the granting of a special use permit.

5. DISCUSSION

A. None

6. ACTION ITEMS

A. Special Use Permit - Don Verkulien to Operate a Kennel at 2889 Manitowoc Road

(previously received)

Moved by Comm. Sturm, seconded by Comm. Sanders to recommend denial of the special use permit application of Don Verkuilen to operate a kennel at 2889 Manitowoc Road based on the findings that 1) a Special Use Permit procedure was not the proper procedure; and 2) The use of a kennel is incompatible with the surrounding uses because of the potential for breeding and closeness to neighboring properties.

Commissioners discussed the following:

- Terminology differences of Condition Use Permit versus Special Use Permit
- Jeff Brandt, City Attorney, stated that since the ordinance refers to a Conditional Use Permit, the Special Use Permit process was inappropriate.
- Possibility of limited the number of dogs, prohibiting breeding, requiring onsite management and daily removal of feces.

Motion Passed

Results:

Roll Call:

AYES: Benner (7)
, Cruickshank
, Merkes
, Radtke
, Sanders
, Schmidt
, Sturm

Moved by DPW Radtke, seconded by Comm. Sanders to remove from the table the special use permit application of Don Verkuilen to operate a kennel at 2889 Manitowoc Road.

Motion Carried on voice vote

Results:

B. Rezoning of Parcel #7-01-10, Lot 10 Province Terrace Plat from R-2 Two Family Residential to C-3 Business and Office

Moved by Comm. Sturm, seconded by Comm. Sanders to recommend approval of the rezoning of parcel #7-01-10 from R-1 to C-3.

AP Beckendorf described the location and the intended use as a daycare center.

Commissioners discussed the following:

- Rezoning the surrounding properties on Province Terrace.
- The proposed zoning is appropriate and in conformance with the proposed comprehensive plan.
- Concerns regarding disturbance of the natural areas.

Motion Passed

Results:

Roll Call:

AYES: Benner (7)
, Cruickshank
, Merkes

, Radtke
, Sanders
, Schmidt
, Sturm

C. Special Use Permit Application - John F Lindsay, III to Operate a Used Vehicle Sales Establishment at 1285 Appleton Road

Moved by Mayor Merkes, seconded by Comm. Sanders to recommend approval of the Special Use Permit application of John F. Lindsay III based on the conclusion that the proposed use is appropriate for the lot and neighborhood and with the following conditions: 1) Existing rooftop lights must not be used. 2) Three additional shrubs per from setback area must be added, for a total of 12 shrubs. 3) The owner must work with staff on the addition of a planting island adjacent to the west side of the building. 4) All vehicles stored outside must be in driving condition. 5) There is to be no outdoor storage of equipment, parts or materials. 6) The existing pole sign must be removed.

John Lindsay explained that the proposed use would be a facility specializing in selling classic "muscle cars". Customers would generally be served by appointment. The cars will all be driving and functional.

Commissioners discussed the following:

- Dumpster enclosure. The picture in the packet is the enclosure Mr. Lindsay intends to construct.
- The number of vehicles to be kept on the lot. Mr. Lindsay stated he planned on keeping between 5 and 10 on the lot at one time.

Motion Carried on voice vote
Results:

D. Extraterritorial Certified Survey Map - Tayco Road - Town of Menasha

Moved by Comm. Sanders, seconded by Comm. Cruickshank to recommend approval of the extraterritorial CSM on Tayco Road in the Town of Menasha

Motion Carried on voice vote
Results:

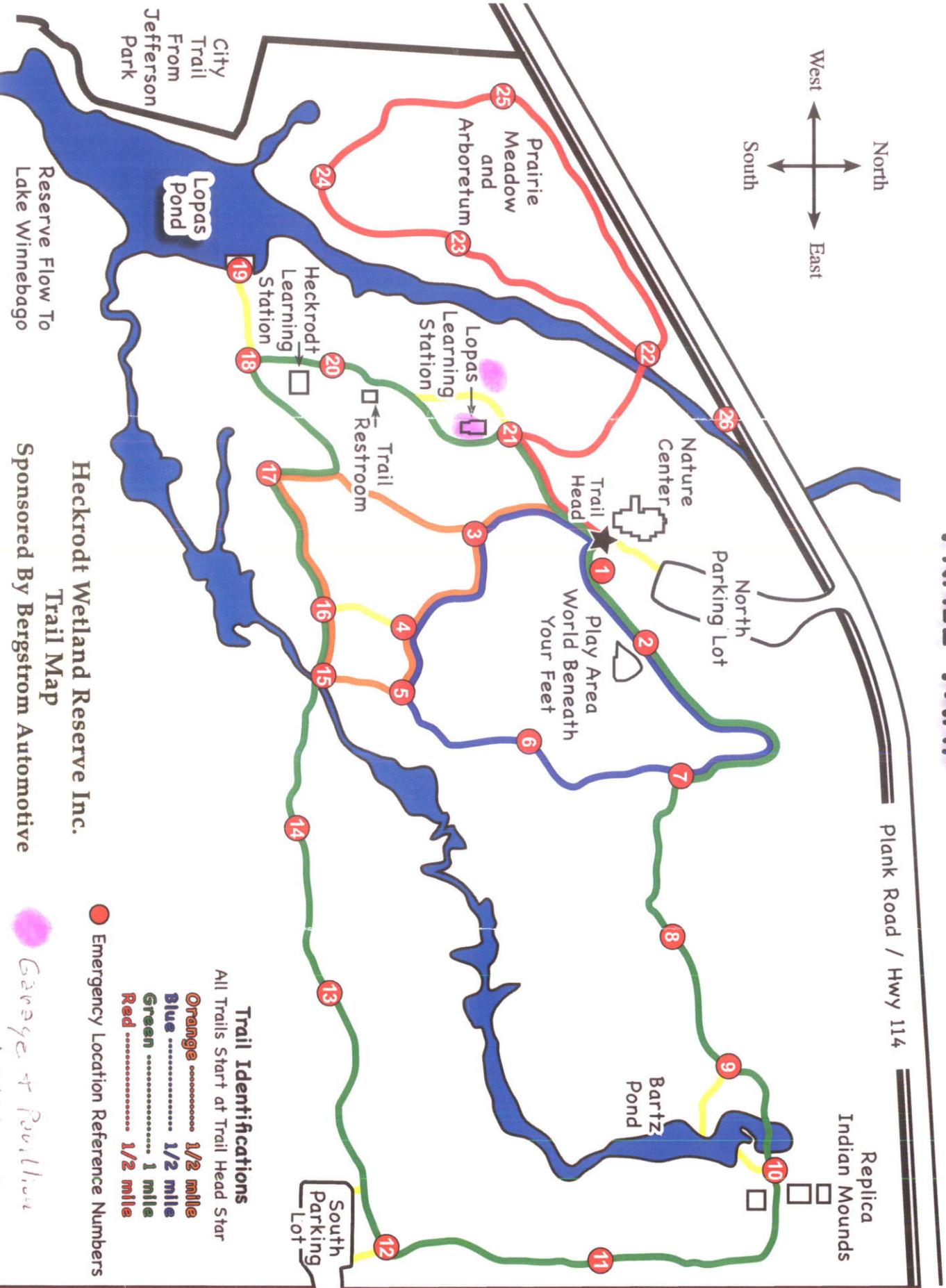
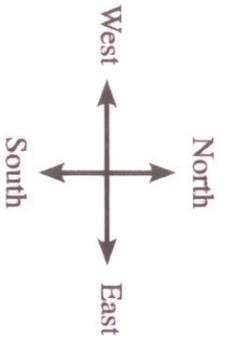
7. ADJOURNMENT

A.

Moved by Comm. Schmidt, seconded by Comm. Sanders to adjourn at 4:55 p.m.

Motion Carried on voice vote
Results:

TRAIL MAP



Trail Identifications
 All Trails Start at Trail Head Star

- Orange 1/2 mile
- Blue 1/2 mile
- Green 1 mile
- Red 1/2 mile

● Emergency Location Reference Numbers

Heckrodt Wetland Reserve Inc.
 Trail Map
 Sponsored By Bergstrom Automotive

*Garage + Pavilion
 Additions.*

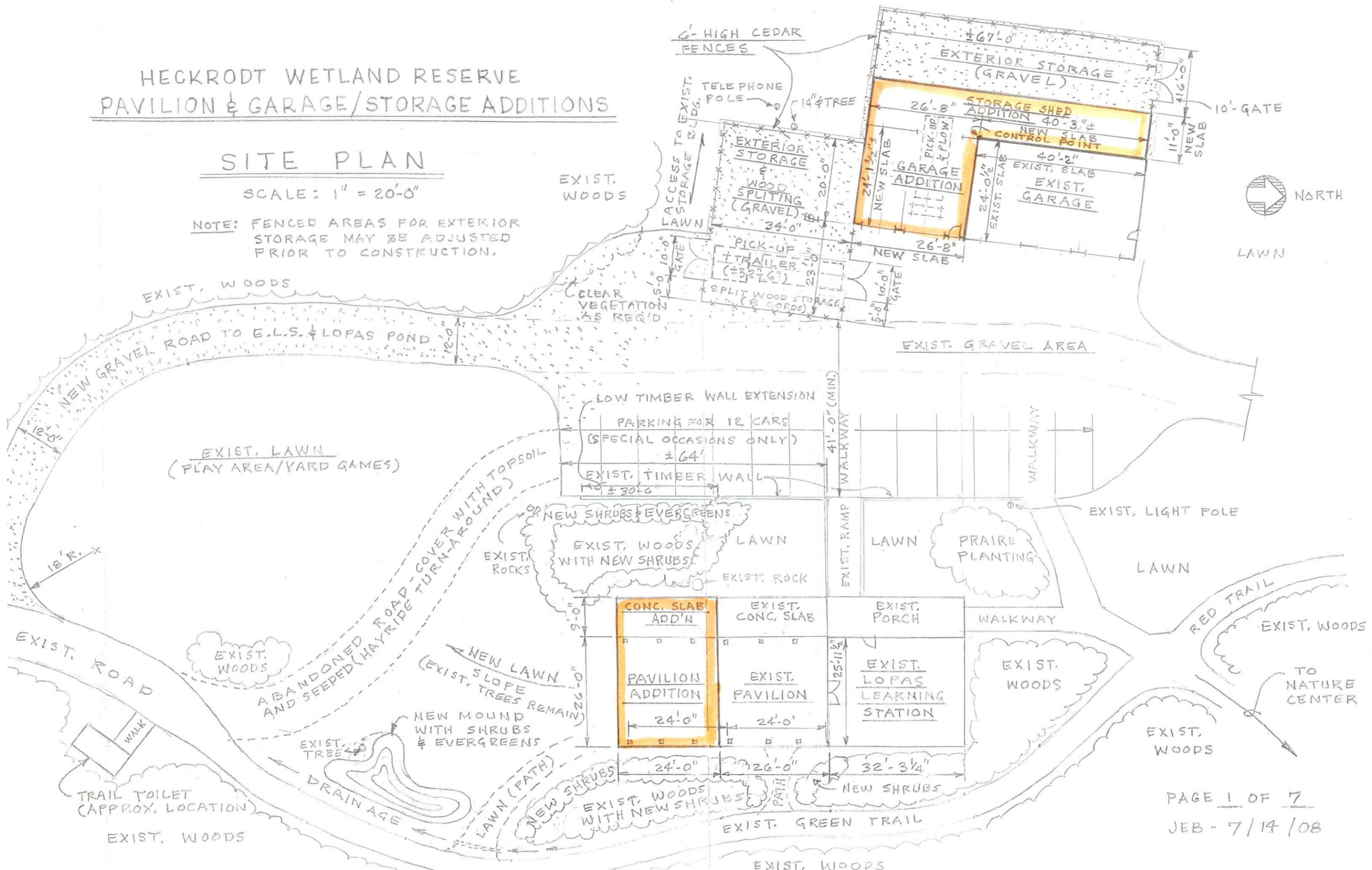
B R I G H T O N B E D C R R O A D

HECKRODT WETLAND RESERVE PAVILION & GARAGE/STORAGE ADDITIONS

SITE PLAN

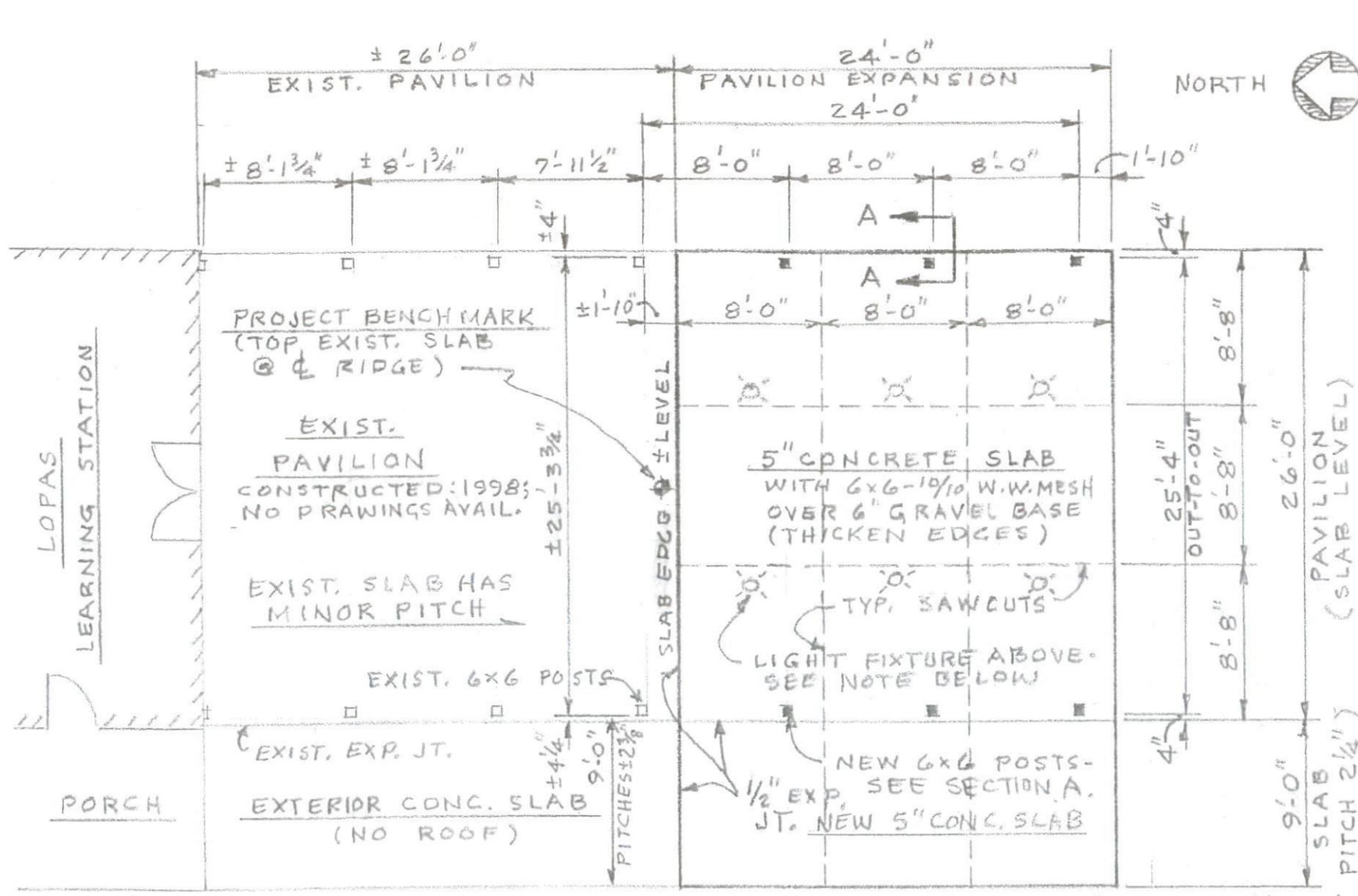
SCALE: 1" = 20'-0"

NOTE: FENCED AREAS FOR EXTERIOR STORAGE MAY BE ADJUSTED PRIOR TO CONSTRUCTION.



NORTH

LAWN



LIGHTING NOTE: SIX, RECESSED, "CAN-TYPE", LIGHTING FIXTURES REQ'D - MATCH EXISTING. ELECT. CONTR. TO DESIGN & INSTALL SYSTEM AS REQ'D.

PAVILION EXPANSION PLAN
1/8" = 1'-0"

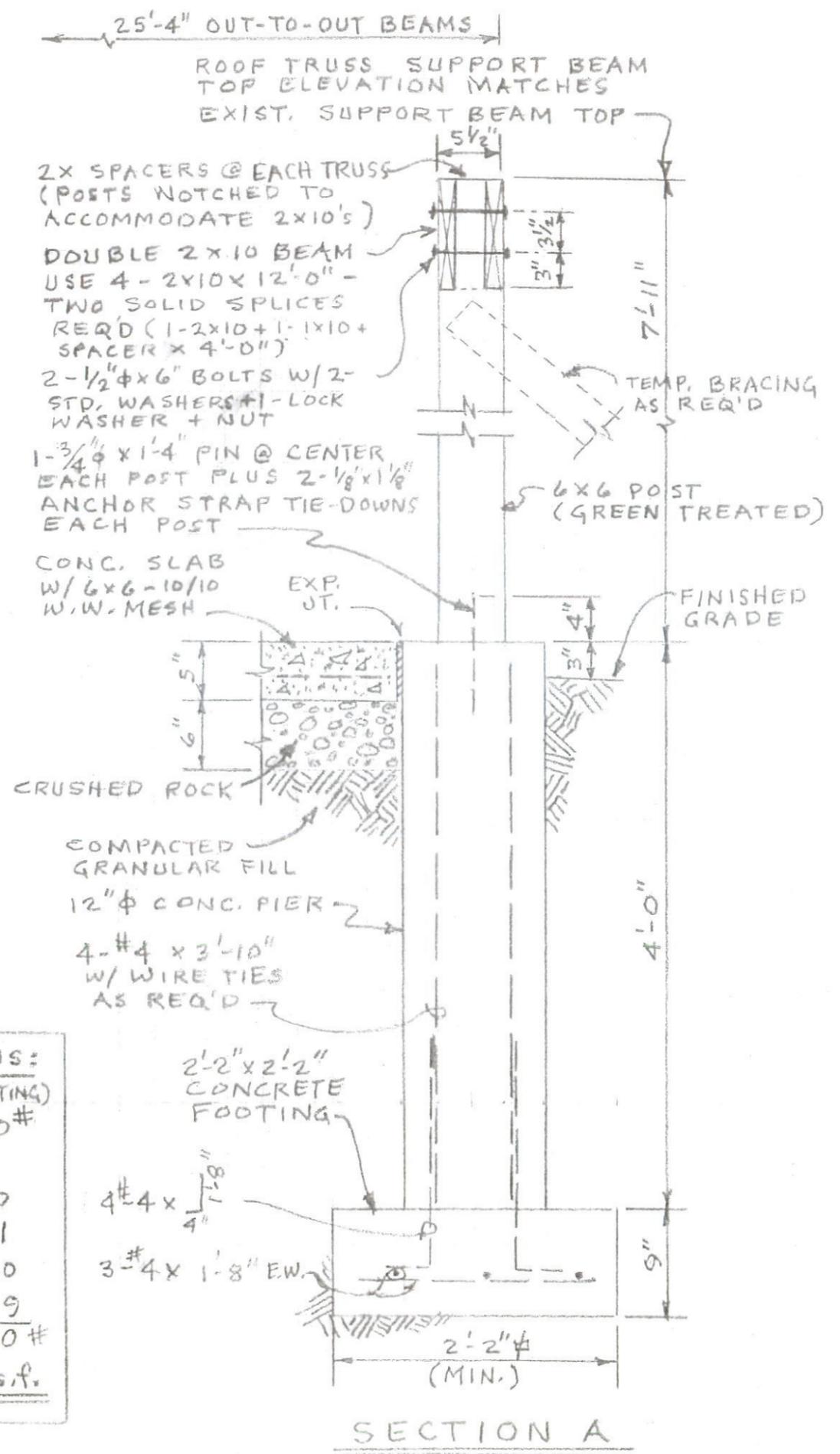
GENERAL REQUIREMENTS:

1. ALL WORK TO BE IN ACCORDANCE WITH STATE AND LOCAL CODES AND REQUIREMENTS.
2. DETAILS OF PAVILION EXPANSION TO MATCH DETAILS OF EXISTING PAVILION EXCEPT AS OTHERWISE INDICATED OR APPROVED.

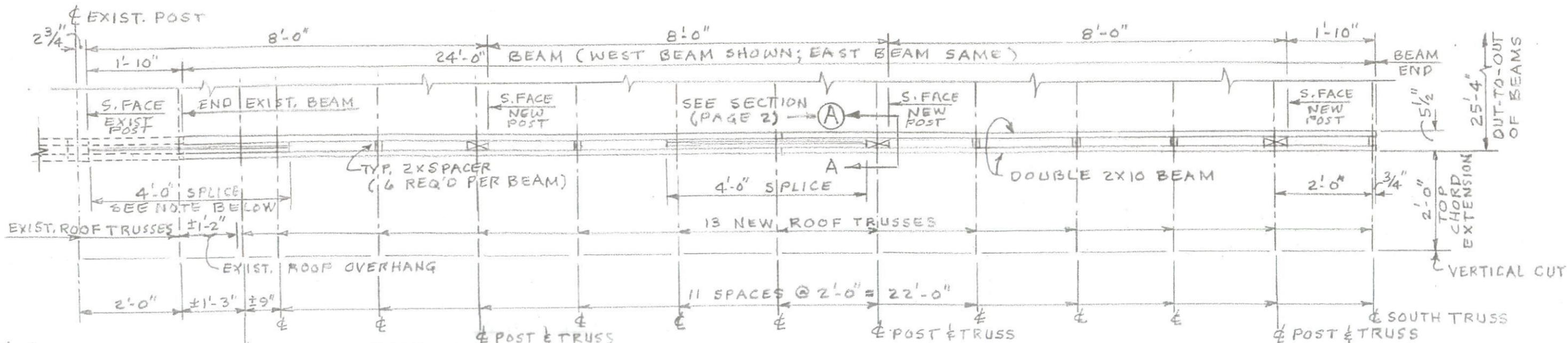
HECKRODT WETLAND RESERVE

PAVILION EXPANSION (624 sq. ft)

FOOTING CALCULATIONS:	
(USE 2'-2" x 2'-2" x 9" FOOTING)	
ROOF L.L.+D.L.	4,800#
(8' x 15' @ 40 p.s.f.)	
POST & BEAM	100
PIER (3.14 c.f x 150#)	471
BACKFILL (4' x 4' x 90#)	1,440
FOOTING (4.7# x 75 x 150)	529
	<u>7,340#</u>
7,340# ÷ 4.7#	= 1,562 p.s.f.



SECTION A

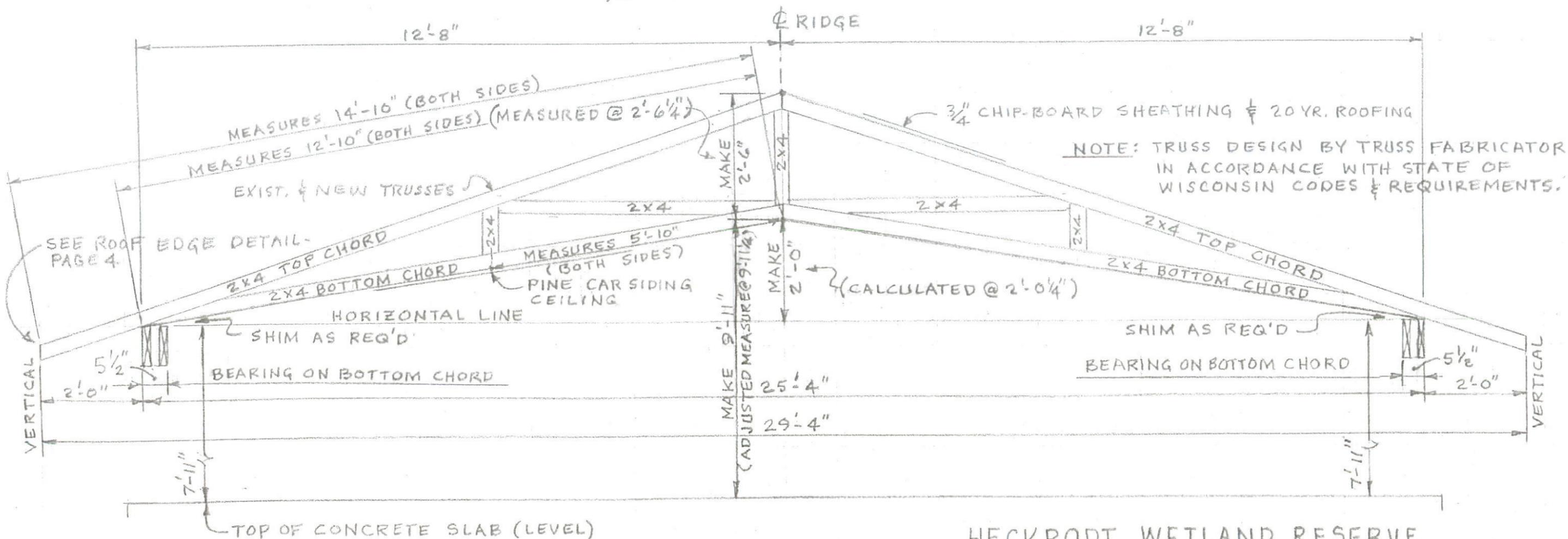


4'-0" SPLICE NOTE:
 USE 1-2x10 PLUS
 1-1x10 PLUS A
 1/2" SPACER (2 1/2" WIDE)

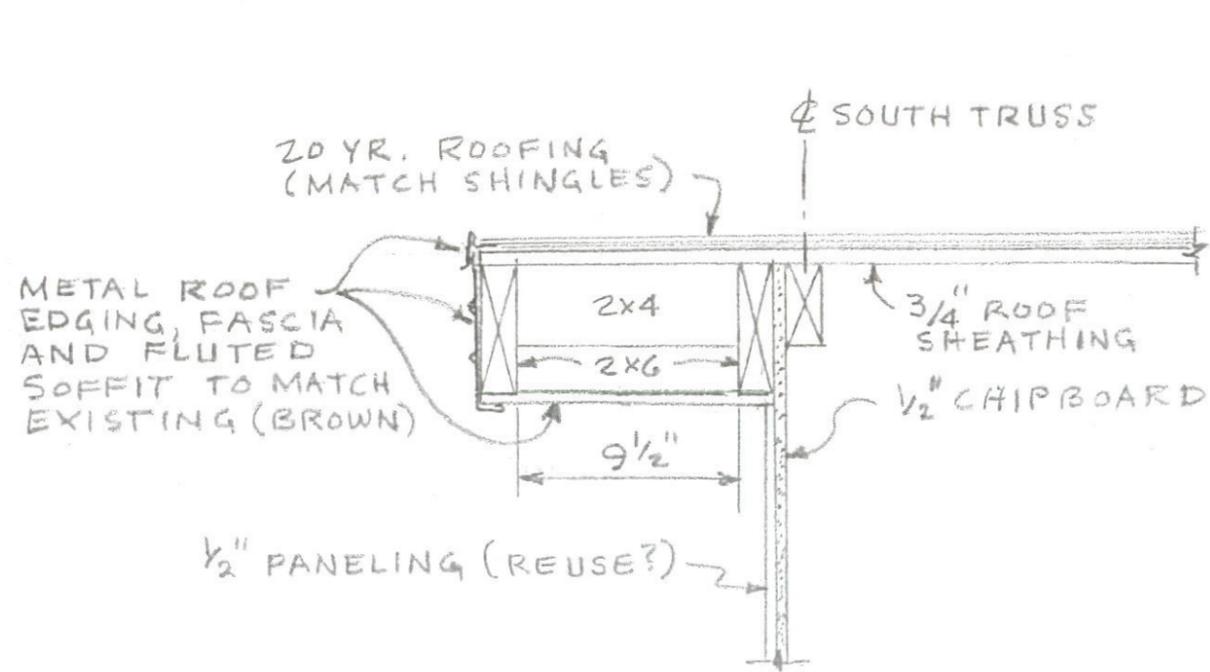
FIRST NEW ROOF TRUSS
 (POSITIONED ADJACENT TO
 FACE OF EXIST. ROOF
 OVERHANG FASCIA)

TOP VIEW OF WEST BEAM / ROOF TRUSS LAYOUT PLAN

1/2" = 1'-0"

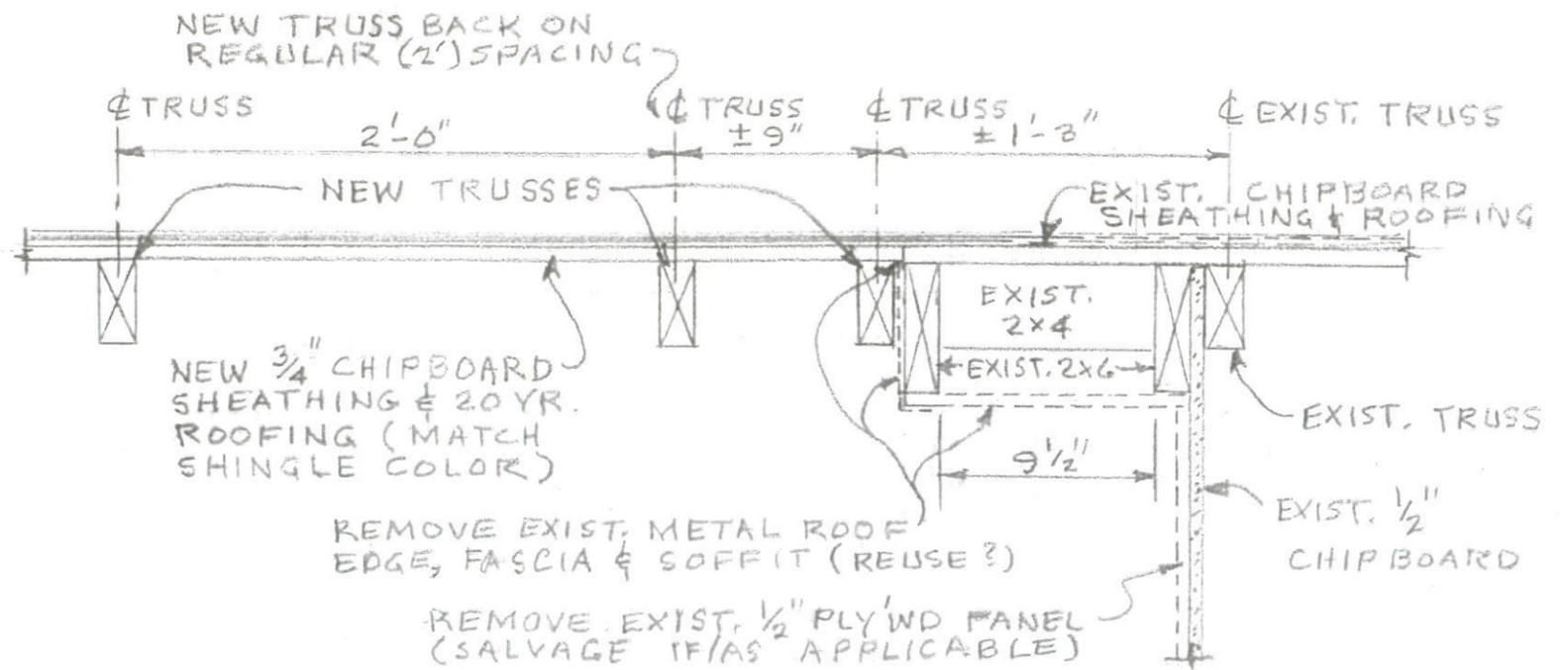


TRUSS DETAILS (13 TRUSSES REQ'D)



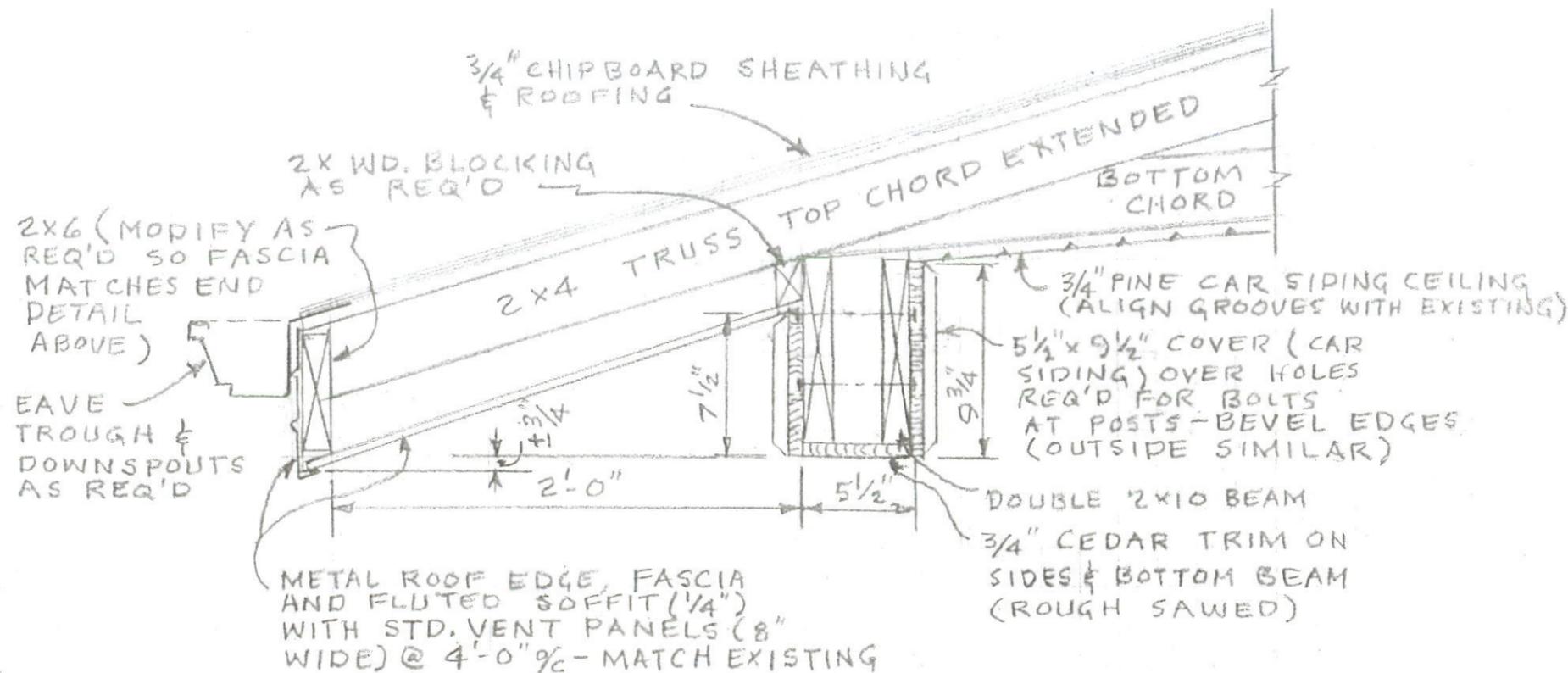
ROOF EDGE DETAIL (SOUTH)

1/2" = 1'-0"



ROOF TRANSITION DETAIL (NORTH)

1/2" = 1'-0"



ROOF EDGE DETAIL (EAST AND WEST)

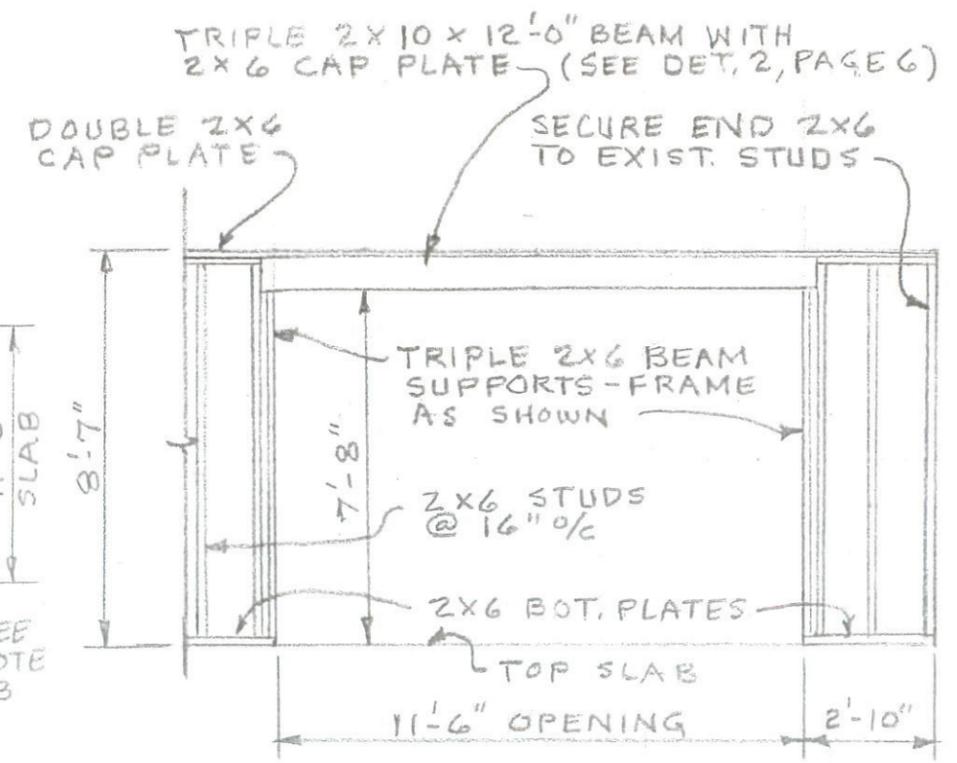
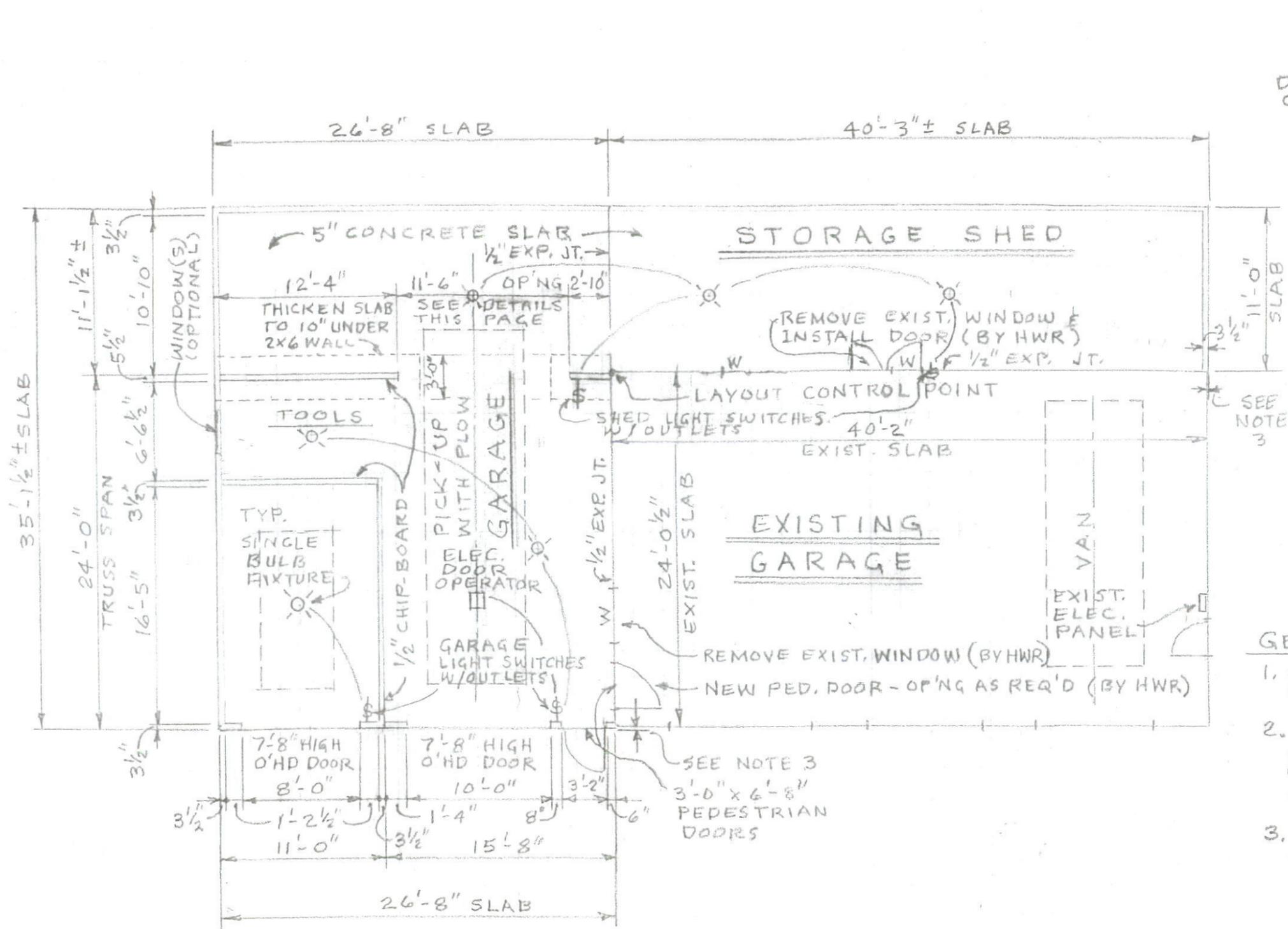
1/2" = 1'-0"

HECKRODT WETLAND RESERVE

PAVILION EXPANSION

PAGE 4 OF 7

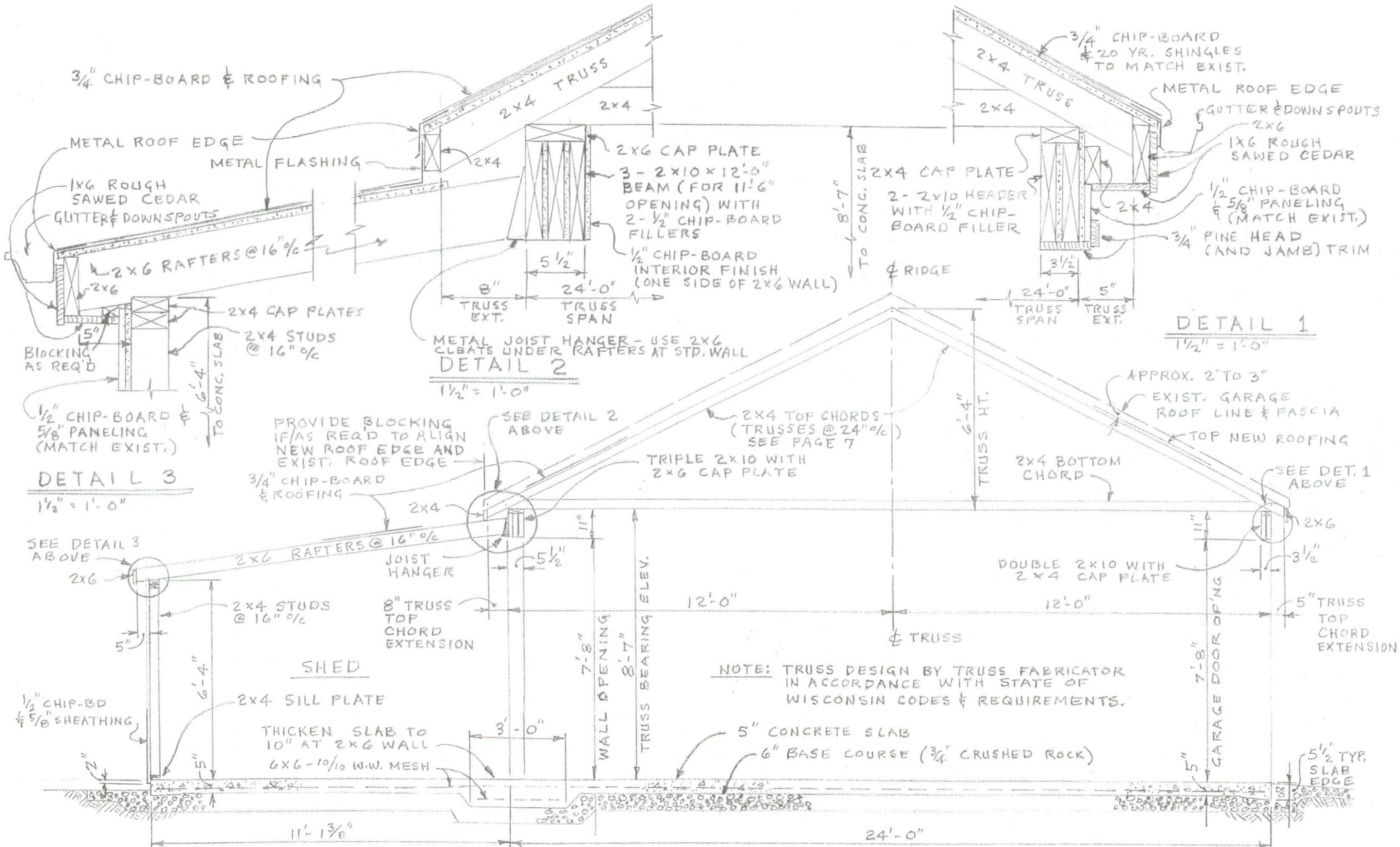
JEB-7/14/08



FRAMED OPENING (2x6 WALL)
 $\frac{1}{4}'' = 1'-0''$

- GENERAL REQUIREMENTS / NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH APP. STATE AND LOCAL CODES AND REQUIREMENTS.
 2. DETAILS OF GARAGE / STORAGE SHED ADDITION TO MATCH DETAILS OF EXISTING GARAGE EXCEPT AS OTHERWISE INDICATED OR APPROVED.
 3. EXISTING SHEATHING AND EXTERIOR PANELING EXTENDS APPROX. 2" BEYOND CONC. SLAB. MAKE EXTERIOR FACE OF NEW PANELING ALIGN WITH EXTERIOR FACE OF EXIST. PANELING. POUR NEW SLAB ALLOWING NEW $\frac{1}{2}''$ CHIP-BOARD AND $\frac{5}{8}''$ PANELING TO LAP NEW SLAB EDGES.
 4. ELECTRICAL CONTRACTOR TO DESIGN AND INSTALL ELECTRICAL WORK AS INDICATED / APPROVED.
 5. NO HEATING WORK IS REQUIRED.

GARAGE / STORAGE SHED ADDITION PLAN (945 sq. ft.)
 $\frac{1}{8}'' = 1'-0''$ (SHOWING CONCRETE SLAB, SILL PLATES, ELECTRICAL WORK AND MISC. DETAILS)



3/4" CHIP-BOARD & ROOFING

METAL ROOF EDGE

1x6 ROUGH SAWED CEDAR

GUTTER & DOWNSPOUTS

2x6 RAFTERS @ 16" o/c

2x6

2x4 CAP PLATES

2x4 STUDS @ 16" o/c

1/2" CHIP-BOARD & 5/8" PANELING (MATCH EXIST.)

DETAIL 3

1 1/2" = 1'-0"

SEE DETAIL 3 ABOVE

2x6

2x4 STUDS @ 16" o/c

5"

6'-4"

1/2" CHIP-BD & 5/8" SHEATHING

2x4 SILL PLATE

THICKEN SLAB TO 10" AT 2x6 WALL

6x6-10/10 W.W. MESH

11'-13/8"

METAL FLASHING

2x4

2x6 CAP PLATE

3- 2x10x12'-0" BEAM (FOR 11'-6" OPENING) WITH 2- 1/2" CHIP-BOARD FILLERS

5 1/2"

8" TRUSS EXT.

24'-0" TRUSS SPAN

1/2" CHIP-BOARD INTERIOR FINISH (ONE SIDE OF 2x6 WALL)

METAL JOIST HANGER - USE 2x6 CLEATS UNDER RAFTERS AT STD. WALL

DETAIL 2

1 1/2" = 1'-0"

PROVIDE BLOCKING IF/AS REQ'D TO ALIGN NEW ROOF EDGE AND EXIST. ROOF EDGE

3/4" CHIP-BOARD & ROOFING

2x4

2x6 RAFTERS @ 16" o/c

JOIST HANGER

8" TRUSS TOP CHORD EXTENSION

11"

5 1/2"

7'-8" WALL OPENING

8'-7" TRUSS BEARING ELEV.

3'-0"

12'-0"

24'-0"

SEE DETAIL 2 ABOVE

2x4 TOP CHORDS (TRUSSES @ 24" o/c) SEE PAGE 7

TRIPLE 2x10 WITH 2x6 CAP PLATE

6'-4" TRUSS HT.

2x4 BOTTOM CHORD

DOUBLE 2x10 WITH 2x4 CAP PLATE

12'-0"

12'-0"

TRUSS

NOTE: TRUSS DESIGN BY TRUSS FABRICATOR IN ACCORDANCE WITH STATE OF WISCONSIN CODES & REQUIREMENTS.

5" CONCRETE SLAB

6" BASE COURSE (3/4" CRUSHED ROCK)

5" GARAGE DOOR OP'NG

7'-8"

5 1/2" TYP. SLAB EDGE

24'-0"

3/4" CHIP-BOARD & 20 YR. SHINGLES TO MATCH EXIST.

2x4 TRUSS

2x4

2x4

2x4 TRUSS

2x4

2x4 CAP PLATE

2- 2x10 HEADER WITH 1/2" CHIP-BOARD FILLER

3 1/2"

24'-0" TRUSS SPAN

5" TRUSS EXT.

3/4" PINE HEAD (AND JAMB) TRIM

APPROX. 2" TO 3" EXIST. GARAGE ROOF LINE & FASCIA

TOP NEW ROOFING

SEE DET. 1 ABOVE

2x6

3 1/2"

5" TRUSS TOP CHORD EXTENSION

11"

7'-8" GARAGE DOOR OP'NG

5"

5 1/2" TYP. SLAB EDGE

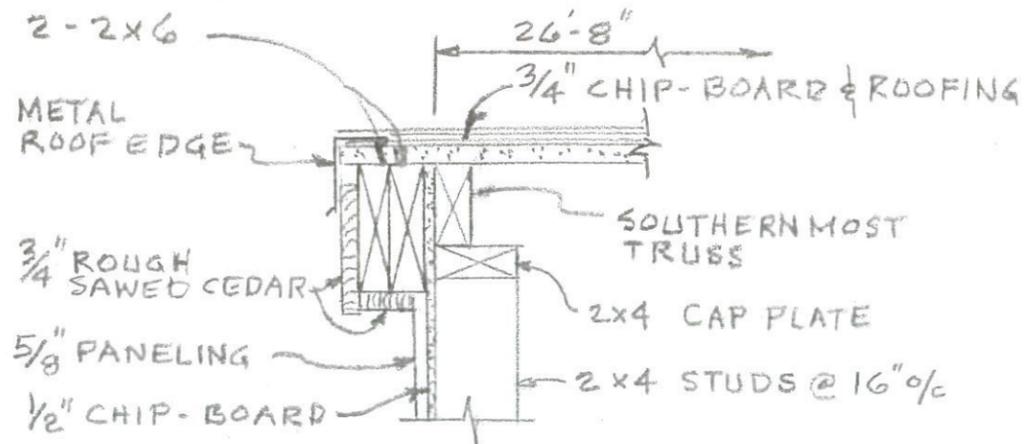
24'-0"

DETAIL 1

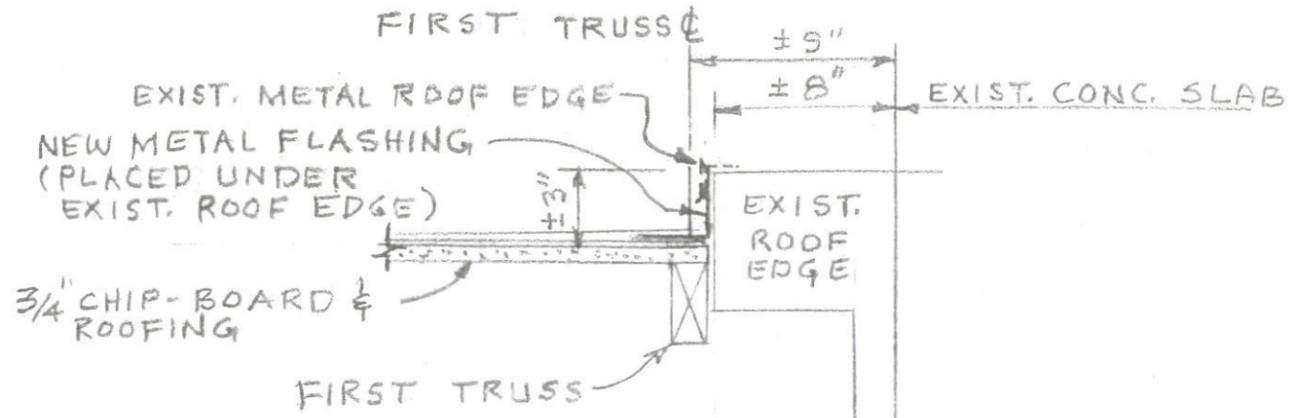
1 1/2" = 1'-0"

SECTION THRU GARAGE & STORAGE SHED ADDITION

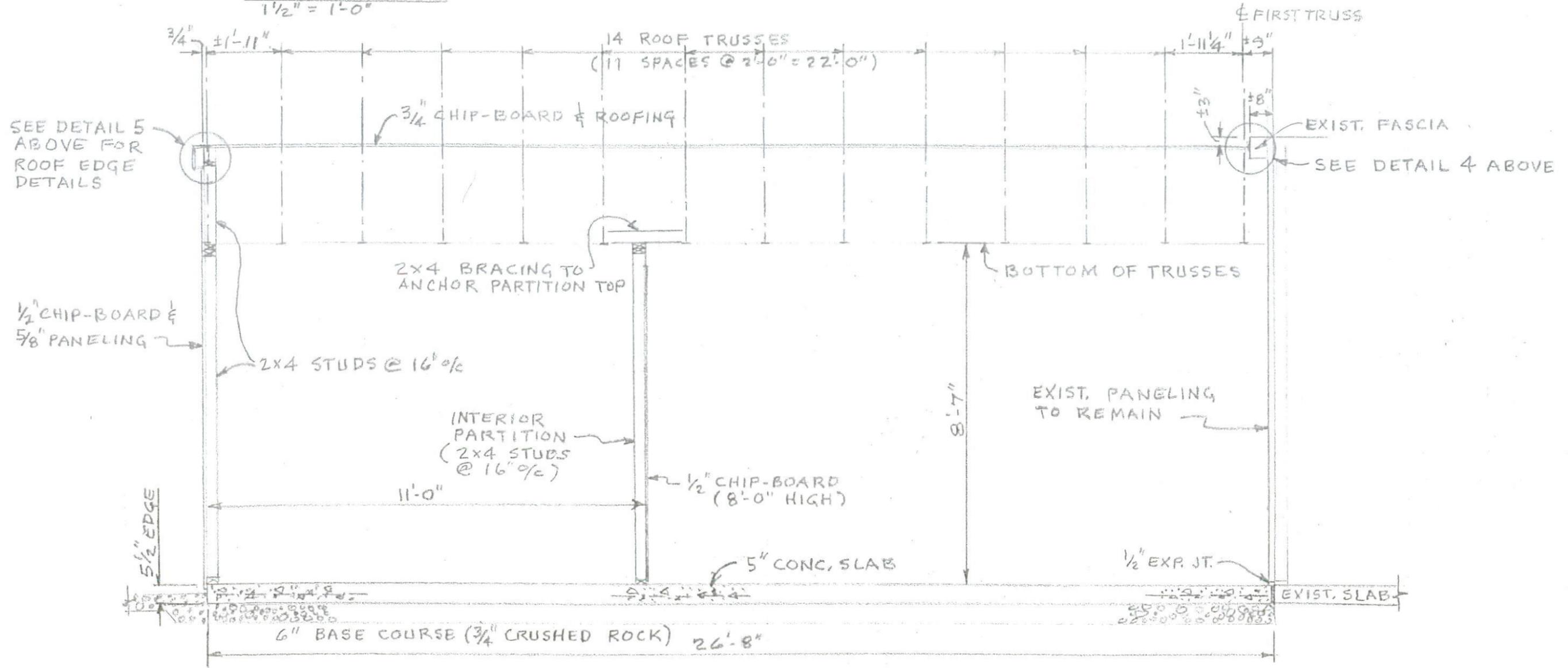
3/8" = 1'-0"



DETAIL 5
1/2" = 1'-0"



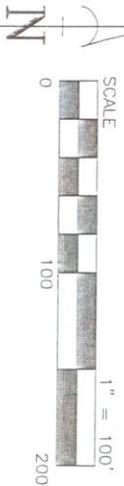
DETAIL 4
1/2" = 1'-0"



NORTH-SOUTH SECTION THRU GARAGE ADDITION

3/8" = 1'-0"

CERTIFIED SURVEY MAP NO. _____
 ALL OF LOTS 18, 19 AND 20 OF WOODLAND HILLS, AS DOCUMENT #368078,
 LOCATED IN THE NORTHWEST 1/4 OF FRACTIONAL SECTION 17, TOWN 20 NORTH,
 RANGE 18 EAST, CITY OF MENASHA, CALUMET COUNTY, WISCONSIN

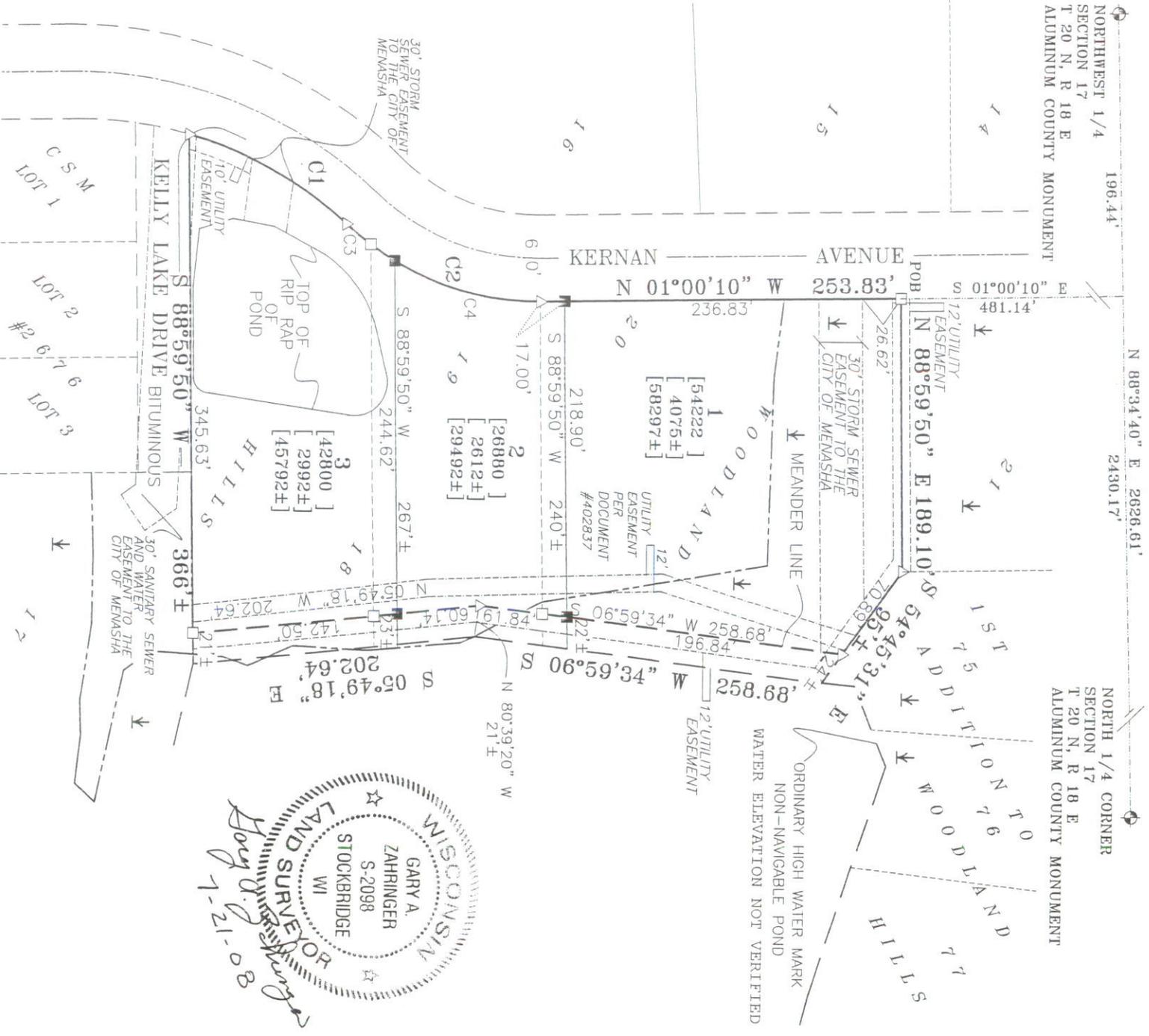


BEARINGS ARE REFERENCED TO THE
 CALUMET COUNTY COORDINATE SYSTEM
 WHICH RECORDS THE NORTH LINE OF
 THE NORTHWEST 1/4, SECTION 17, TO
 BEAR N 88°34'40" E

SURVEY FOR: WOODLAND DEVELOPMENT, LLC.
 N319 BREEZEWOOD DRIVE
 APPLETON, WI 54915

NORTHWEST 1/4
 SECTION 17
 T 20 N, R 18 E
 ALUMINUM COUNTY MONUMENT

NORTH 1/4 CORNER
 SECTION 17
 T 20 N, R 18 E
 ALUMINUM COUNTY MONUMENT



LEGEND

- 1" O.D. IRON PIPE SET, 18" LONG, WEIGHING 1.130 LBS. PER LIN. FOOT
- 1" O.D. IRON PIPE FOUND
- △ 1-1/4" O.D. REBAR FOUND
- [#] LOT AREA FROM MEANDERLINE
- [#] LOT AREA FROM MEANDERLINE TO OHWM OF POND
- [#] TOTAL LOT AREA

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
1	270.00'	126.32'	N 29°14'26.0" E	125.16'
2	200.00'	152.35'	N 20°49'12.0" E	148.69'
3	200.00'	42.79'	N 36°30'51.0" E	42.70'
4	200.00'	109.56'	N 14°41'29.0" E	108.20'

Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 Info@martenson-eisele.com
 920.731.0381 1.800.236.0381

Planning
 Environmental
 Surveying
 Engineering
 Architecture

PROJECT NO. 632-122
 FILE 632122.csm SHEET 1 OF 3
 THIS INSTRUMENT WAS DRAFTED BY: DMS S-2325

CERTIFIED SURVEY MAP NO. _____

COMMON COUNCIL RESOLUTION

RESOLVED, THIS MINOR SUBDIVISION IN THE CITY OF MENASHA, IS HEREBY APPROVED BY THE COMMON COUNCIL, ON THIS _____ DAY OF _____, 2008.

MAYOR _____ DATE _____

CLERK _____ DATE _____

TREASURER'S CERTIFICATE

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS SHOWN HEREON.

CITY TREASURER _____ COUNTY TREASURER _____

DATE _____ DATE _____

OWNERS OF RECORD
WOODLAND DEVELOPMENT, LLC.

PARCEL NUMBER
7-00700-18
7-00700-19
7-00700-20

RECORDING INFORMATION
DOC. #368078



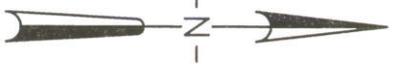
CERTIFIED SURVEY MAP NO. _____ PAGE 1 OF 3
 A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 11, TOWNSHIP 20 NORTH,
 RANGE 17 EAST, TOWN OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

(S89°40'W)
 (S89°37'08"W)
 N89°28'14"W
 N. LINE OF THE NE 1/4, SEC. 11
 (2641.15')
 (2641.13')
 (66.01')
 (66.0')
 NORTHEAST CORNER
 SECTION 11-20-17
 NAIL FOUND

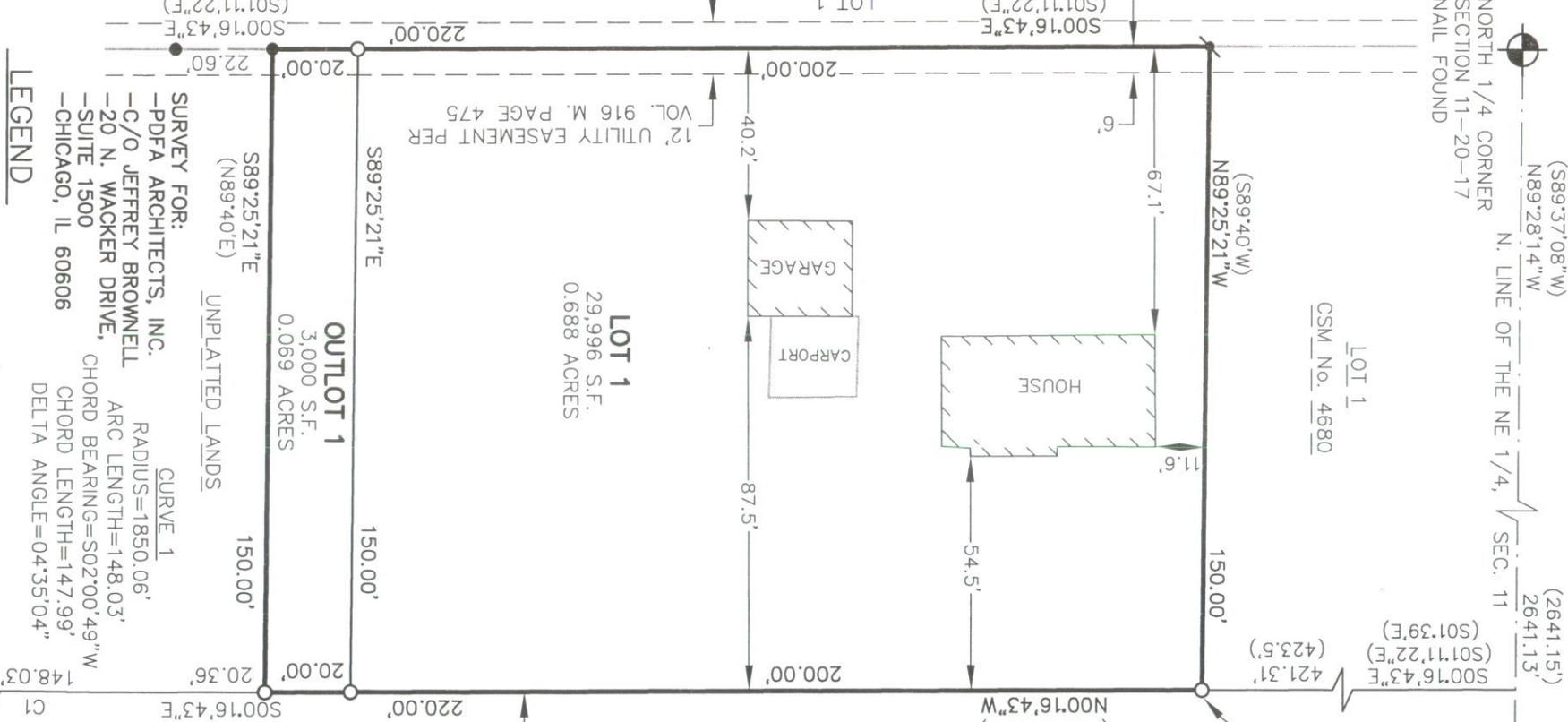


(S.T.H. "47")
 APPLETON ROAD

BEARING ARE REFERENCED TO THE
 NORTH LINE OF THE NORTHEAST 1/4
 OF SECTION 11-20-17 WHICH BEARS
 N89°28'14"W PER THE WINNEBAGO
 COUNTY COORDINATE SYSTEM.



EAST 1/4 CORNER
 SECTION 11-20-17
 BERNITSEN MONUMENT



LEGEND

- - 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- - 1" IRON PIPE FOUND
- 3/4" ROUND STEEL REBAR FOUND
- CERTIFIED LAND CORNER WINNEBAGO COUNTY
- () - RECORDED BEARING AND/OR DISTANCE
- S.F. - SQUARE FEET

SURVEY FOR:
 -PDFA ARCHITECTS, INC.
 -C/O JEFFREY BROWNELL
 -20 N. WACKER DRIVE,
 -SUITE 1500
 -CHICAGO, IL 60606

CURVE 1
 RADIUS=1850.06'
 ARC LENGTH=148.03'
 CHORD BEARING=S02°00'49"W
 CHORD LENGTH=147.99'
 DELTA ANGLE=04°35'04"

CERTIFIED SURVEY MAP NO. _____

PAGE 2 OF 3

A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 11, TOWNSHIP 20 NORTH,
RANGE 17 EAST, TOWN OF MENASHA, WINNEBAGO COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped a part of the Northeast 1/4 of the Northeast 1/4, Section 11, Township 20 North, Range 17 East, Town of Menasha, Winnebago County, Wisconsin containing 32,996 square feet (0.757 acres) of land and described as follows:

Commencing at the Northeast corner of said Section 11; Thence N89°28'14"W (recorded as S89°37'08"W & S89°40'W), 66.01 feet (recorded as 66.0') along the North line of the Northeast 1/4 of said Section 11 to the Northerly extension of the West right-of-way line of Appleton Road (S.T.H. "47"); Thence S00°16'43"E (recorded as S01°11'22"E & S01°39'E), 421.31 feet (recorded as 423.5 feet) along said Northerly extension and said West right-of-way line of Appleton Road (S.T.H. "47") to the Point of Beginning; Thence N89°25'21"W (recorded as S89°40'W), 150.00 feet; Thence S00°16'43"E (recorded as S01°11'22"E & S01°39'E), 220.00 feet; Thence S89°25'21"E (recorded as N89°40'E), 150.00 feet to said West right-of-way line; Thence N00°16'43"W (recorded as N01°11'22"W & N01°39'W), 220.00 feet along said West right-of-way line to the Point of Beginning.

I further certify that this map is a correct representation of the exterior boundary lines of the lines of the land surveyed and the division of that land, and that I have complied with Section 236.34 of the Wisconsin Statutes, the Winnebago County and the Town of Menasha Subdivision Ordinances in surveying, dividing and mapping the same.

Given under my hand and seal this 1st day of August, 2008.

David M. Schmalz
David M. Schmalz, Reg. WI Land Surveyor S-1284



CERTIFICATE OF PLANNING AGENCY:
Pursuant to the Land Subdivision Requirements of Winnebago County, Wisconsin, all the requirements for approval have been fulfilled. This minor Subdivision was approved by the Winnebago County Planning and Zoning Committee.

Authorized Signature _____ Date _____

—THIS CSM IS ALL OF TAX PARCEL No.: 8033701

—THE PROPERTY OWNER OF RECORD IS: OSHKOSH AVENUE, LLC

—THIS PROPERTY IS CONTAINED WHOLLY WITHIN LANDS DESCRIBED IN DOCUMENT No. 1375184

CERTIFICATE OF TREASURERS

I, being the duly elected, qualified and acting Treasurer, do hereby certify that in accordance with the records in my office there are no un-paid taxes or un-paid special assessments on any of the lands included in this Certified Survey Map as of:

Town Treasurer _____ Date _____ County Treasurer _____ Date _____

OWNER'S CERTIFICATE

Oshkosh Avenue, LLC, As Owners, We hereby certify that we caused the land described on this map to be surveyed, divided and mapped as represented on this map. Dated this _____ day of _____, 2008.

Authorized Signature _____ Authorized Signature _____

Printed Name _____ Printed Name _____

State of Wisconsin) _____)ss
_____ County)

Personally appeared before me on the _____ day of _____, 2008, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public _____

_____ County, _____

My commission expires _____



CERTIFICATE OF TOWN BOARD

We hereby certify that the Town of Menasha Board of Supervisors adopted Resolution # _____ at the regular meeting of _____, approving the Certified Survey Map with/without conditions as stated in the resolution.

Town Chairperson _____ Date _____

Town Clerk _____ Date _____

COMMON COUNCIL RESOLUTION

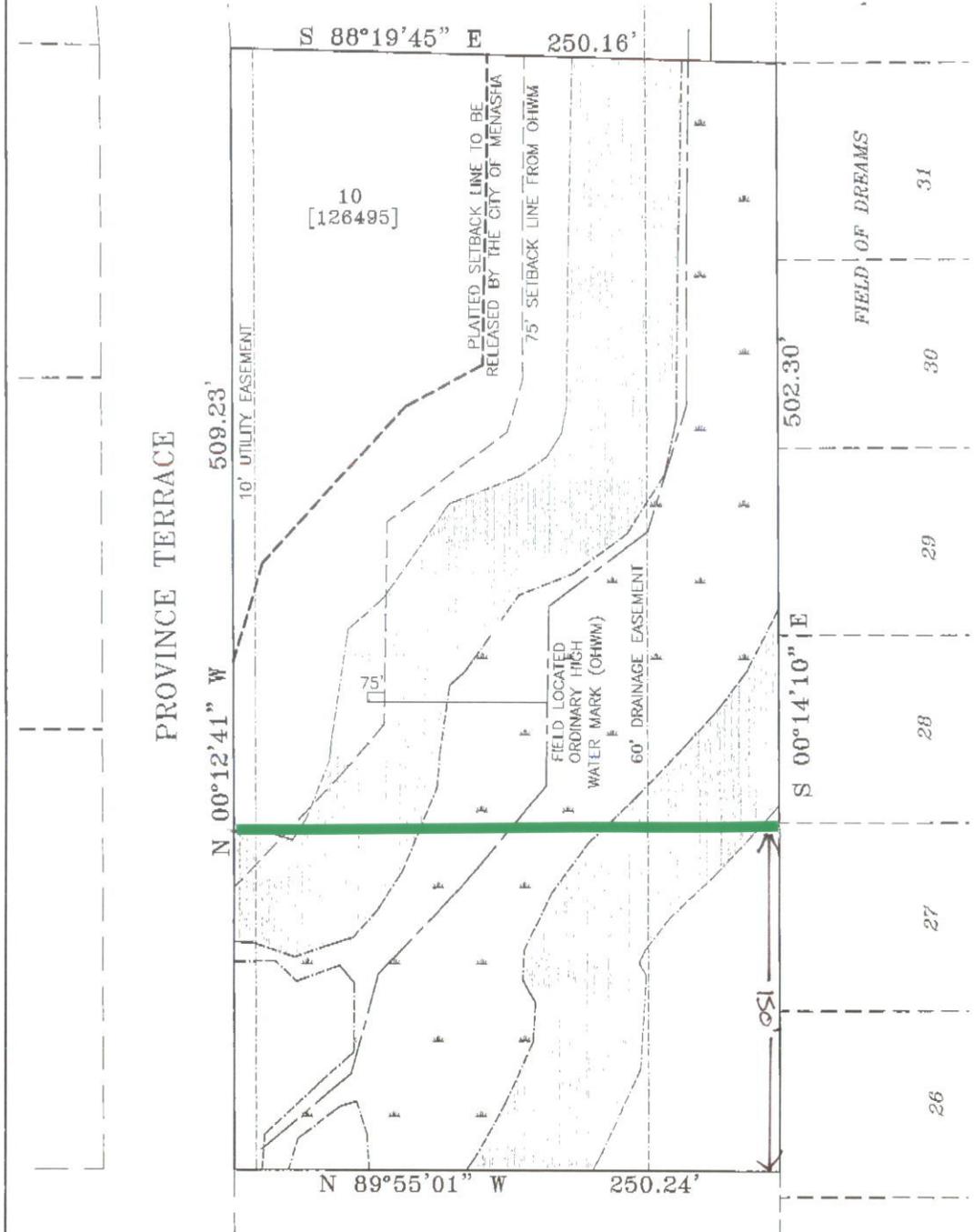
Resolved, this Certified Survey Map in the City of Menasha is hereby approved by the Common Council on this _____ day of _____, 20____.

Mayor _____ Dated _____ City Clerk _____ Dated _____
Donald Merkes Deborah Galeazzi

EXHIBIT "A"



BEARINGS ARE REFERENCED MATCH
PROVINCE TERRACE PLAT BEARINGS



Martenson & Eisele, Inc.



1377 Midway Road
Menasha, WI 54952
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info@martenson-eisele.com
920.731.0381 1.800.236.0381

Planning
Environmental
Surveying
Engineering
Architecture

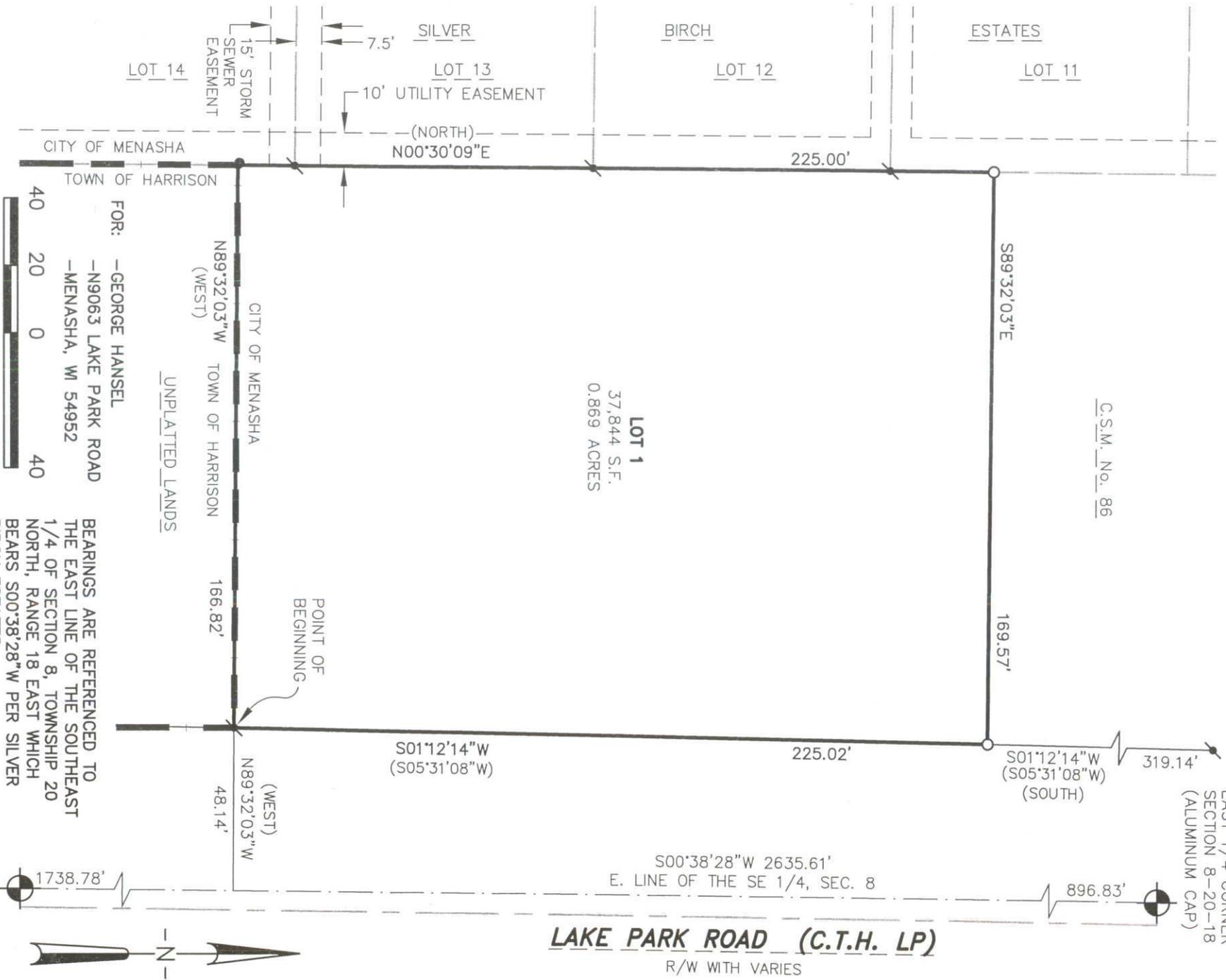
50' CONSERVATION EASEMENT FROM WETLAND LIMITS

50' CONSERVATION EASEMENT FROM WETLAND LIMITS

SHEET 2 OF 2
THIS INSTRUMENT WAS DRAFTED BY: DMS

CERTIFIED SURVEY MAP NO. _____

A PART OF CERTIFIED SURVEY MAP No. 86 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 216, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 20 NORTH, RANGE 18 EAST, CITY OF MENASHA, CALUMET COUNTY, WISCONSIN



McMAHON ASSOCIATES
 ENGINEERS | ARCHITECTS | SURVEYORS | PROJECT MANAGERS
 1445 McMAHON DRIVE NEENAH, WI 54956
 Mailing: P. O. BOX 1025 NEENAH, WI 54957-1025
 Tel: (920) 751-4200 Fax: (920) 751-4284
 DRAFTED BY: Corey Kalkofen

CERTIFIED SURVEY MAP NO. _____

PAGE 2 OF 3

A PART OF CERTIFIED SURVEY MAP No. 86 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 216, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 20 NORTH, RANGE 18 EAST, CITY OF MENASHA, CALUMET COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped a part of Certified Survey Map No. 86 as recorded in Volume 1 of Certified Survey Maps on Page 216, located in the Northeast 1/4 of the Southeast 1/4, Section 8, Township 20 North, Range 18 East, City of Menasha, Winnebago County, Wisconsin containing 37,844 square feet (0.869 acres) of land and described as follows:

Commencing at the East 1/4 corner of said Section 8; Thence S00°38'28"W, 896.83 feet along the East line of the Southeast 1/4 of said Section 8 to the Easterly extension of the South line of Certified Survey Map No. 86; Thence N89°32'03"W (recorded as West), 48.14 feet along said Easterly extension to the West right-of-way line of Lake Park Road (C.T.H. LP) and the Point of Beginning; Thence continue N89°32'03"W (recorded as West), 166.82 feet along the South line of said Certified Survey Map No. 86 to the Southwest corner thereof and the East line of Lot 14 of Silver Birch Estates; Thence N00°30'09"E (recorded as North), 225.00 feet along the West line of Certified Survey Map No. 86 and the East line of Lots 11, 12, 13 & 14 of Silver Birch Estates; Thence S89°32'03"E, 169.57 feet to said West right-of-way line of Lake Park Road (C.T.H. LP); Thence S01°12'14"W (recorded as S05°31'08"W), 225.02 feet along said West right-of-way line to the Point of Beginning.

I further certify that this map is a correct representation of the exterior boundary lines of the lines of the land surveyed and the division of that land, and that I have complied with Section 236.34 of the Wisconsin Statutes, the City of Menasha Subdivision Ordinances in surveying, dividing and mapping the same.

Given under my hand and seal this 5TH day of August, 2008.

David M. Schmalz, Reg. WI Land Surveyor S-1284



COMMON COUNCIL RESOLUTION

Resolved, this Certified Survey Map in the City of Menasha is hereby approved by the Common Council on this _____ day of _____, 20____.

Mayor _____
Donald Merkes

City Clerk _____
Deborah Galeazzi

Dated _____

