

A QUORUM OF THE ADMINISTRATION COMMITTEE, BOARD OF PUBLIC WORKS, PARK BOARD, AND/OR COMMON COUNCIL MAY ATTEND THIS MEETING; (ALTHOUGH IT IS NOT EXPECTED THAT ANY OFFICIAL ACTION OF ANY OF THOSE BODIES WILL BE TAKEN).

CITY OF MENASHA
Plan Commission
Council Chambers, 3rd Floor City Hall - 140 Main Street, Menasha
June 17, 2008

3:30 PM

AGENDA

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3:30 PM - Public Hearing - Rezoning 121 River Street R1 to R2

1. CALL TO ORDER

A. Call to Order

B. 3:30 PM - Public Hearing - Rezoning 121 River Street R1 to R2

2. ROLL CALL/EXCUSED ABSENCES

A.

3. MINUTES TO APPROVE-MINUTES & COMMUNICATIONS TO RECEIVE

Minutes to approve:

A. May 20, 2008 and May 27, 2008 Plan Commission Meeting Minutes

[Attachments](#)

4. PUBLIC COMMENTS ON ANY MATTER OF CONCERN TO THE CITY

Five (5) minute time limit for each person

A.

5. DISCUSSION

A. None

6. ACTION ITEMS

A. Site Plan Amendment - Miron Construction - 1800 Bud Drive

[Attachments](#)

B. Rezoning - 121 River Street R1 to R2

[Attachments](#)

C. Site Plan Amendment - Salvation Army - 1244 Appleton Road - Abandonment of Access to Drum Corps Drive

[Attachments](#)

D. Special Use Permit - Sunset Hill Stoneware- 330 Milwaukee Street

[Attachments](#)

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Plan Commission
Council Chambers, 3rd Floor City Hall - 140 Main Street, Menasha
May 20, 2008

DRAFT MINUTES

1. CALL TO ORDER

Mayor Merkes called the meeting to order at 3:34 p.m.

2. ROLL CALL/EXCUSED ABSENCES

A.

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, DPW Radtke, Ald. Benner, and Commissioners Schmidt, Cruickshank, and Sturm.

PLAN COMMISSION MEMBERS EXCUSED: Norm Sanders

OTHERS PRESENT: CDD Keil, AP Beckendorf, Ald. Steve Pack, Bonnie Delfosse, James Taylor, Pastor Mike Huff, Bob Acord, Joanne Roush, and Ald. Dan Zelinski

3. MINUTES TO APPROVE-MINUTES & COMMUNICATIONS TO RECEIVE

Minutes to approve:

A. May 6, 2008 Plan Commission Meeting Minutes

Moved by Alderman Benner, seconded by Comm. Schmidt to approve the May 6, 2008 Plan Commission meeting minutes.

Motion Carried on voice vote

Results:

4. PUBLIC COMMENTS ON ANY MATTER OF CONCERN TO THE CITY

Five (5) minute time limit for each person

A.

Ald. Steve Pack, 823 Emily Street, spoke about the merits of selling 81 Racine Street and 504 Broad Street to Dr. Larsen.

Joanne Rausch, 409 Cleveland, spoke against selling the properties at this time and suggested the city instead look at all other options.

James Taylor, 340 Broad Street, stated that the city can accommodate NorthStar in one of the other empty

downtown buildings rather than building a parking lot at 81 Racine and 504 Broad. Mr. Taylor also stated that there is ample parking in the downtown. Mr. Taylor then commented on the site plan amendment of Trinity Lutheran Church. There are lighting issues, landscaping has not been installed, and the school's park should close at night.

5. DISCUSSION

A. None

6. ACTION ITEMS

A. Sale of 81 Racine Street and 504 Broad Street

Moved by Comm. Cruickshank, seconded by Comm. Schmidt to recommend that the city retain ownership of 81 Racine and 504 Broad with the understanding that staff will work with the businesses desiring parking to identify needs and alternatives.

CDD Keil reviewed the history leading up to the current proposal. He then explained that the council took action in 2004 to condemn the properties with the purpose of retaining them for greenspace and parking. A corridor plan was then developed for the Third/Racine Street corridors which agreed with the intended use as directed by the council. Based on this direction, Otter Creek was engaged to prepare a design which incorporated greenspace and some parking. The plan was advanced to the Council by the Plan Commission and returned to the Plan Commission for reconsideration. The plan was then returned to the Council with the recommendation that parking be public to preserve options for potential future site development. The Council then sent the plan to the Redevelopment Authority and the Plan Commission for further consideration. The Redevelopment Authority recommended minimal landscaping and marketing the site. An offer to purchase was reviewed by the Council at the May 19 meeting but state statutes dictate that action must first be taken by the Plan Commission before the Council can take action.

CDD Keil stated that the Plan Commission's original recommendation was for a well-conceived plan that would help to soften a hard corridor. Further direction has been given by the RDA that the city should concentrate on the marketability of the Third Street corridor at this time. However, if the properties are sold, the city would have additional funds for Third Street enhancements and would fill a local business need.

Commissioners discussed the following:

- The city had a good plan that accommodated the needs of the business.
- The Plan Commission's original recommendation was sound.
- Costs of implementing the original plan for greenspace and parking.
- The short-sightedness of privately owned parking in a downtown.
- Whether every business in the downtown needs its own parking lot.
- Working with the business to accommodate their needs while retaining ownership of the properties.
- The possibility of utilizing on-street angle parking.
- The possibility of leasing the properties.
- Safety concerns with crossing Racine Street to reach the Broad Street parking lot.
- If parking is developed on the properties, it should be public.
- The possible use of traffic calming measures at the Broad/Racine intersection.

Motion Passed
Results:

Roll Call:

AYES: Benner
, Cruickshank
, Merkes

(6)

, Radtke
, Schmidt
, Sturm

ABSENT: Sanders

(1)

B. Site Plan Amendment - Foursquare Crossroads Church - London Street

Moved by DPW Radtke, seconded by Comm. Sturm to approve the site plan amendment of Foursquare Crossroads Church.

CDD Keil described the proposed changes which include the extension of a driveway from the rear parking lot to the front parking area and placing the north plantings in a grouping rather than a straight line.

Motion Carried on voice vote

Results:

C. Site Plan Amendment - Trinity Lutheran - 300 Broad Street

Moved by DPW Radtke, seconded by Comm. Sturm to approve the site plan amendment for Trinity Lutheran, 300 Broad Street, with the condition that area "A" be developed in conformance with the plan submitted by CDD Keil as modified to extend junipers along the length of the house with sand cherry trees added at each end for variety.

CDD Keil described the proposed amendment to alter the transitional area in the northwest region of the church grounds and described an alternate plan prepared by city staff. The alternate plan shows a mix of junipers and sand cherry trees along the property line shared by Ms. Delfosse.

Commissioners discussed the following:

- The width and grade of the proposed planting area.
- The addition of slats to the chain link fence bordering Ms. Delfosse's rear yard.
- Extending the junipers to at least the length of the house.
- Asking the church to alter their lighting, such as shielding or shutting it off at night.

Motion Carried on voice vote

Results:

D. Acceptance of Transfer of Outlot 1 for Stormwater Pond - Southfield West Plat

Moved by DPW Radtke, seconded by Comm. Cruickshank to recommend approval of the transfer of Outlot 1 of Southfield West plat for stormwater pond.

CDD Keil explained that it was the city's intention from the beginning to own this property.

Motion Carried on voice vote

Results:

E. Plan Commission Resolution - 01-2008 - Recommending Adoption of the City of Menasha Year 2030 Comprehensive Plan

CDD Keil explained that before the city can release the plan for public hearings, the Plan Commission needs to adopt the plan.

Commissioners discussed the following:

- Changes to the Table of Contents
- The soils map should also show town soils
- The existing and proposed Land Use maps should show town land use as well

This item was held over to allow Commissioners additional review time.



7. ADJOURNMENT

A.

Moved by Comm. Schmidt, seconded by DPW Radtke to adjourn at 5:28 p.m.

Motion Carried on voice vote

Results:

CITY OF MENASHA
Plan Commission
Council Chambers, 3rd Floor City Hall - 140 Main Street, Menasha
May 27, 2008

MINUTES

 + [Back](#)  [Print](#)

1. CALL TO ORDER

Mayor Merkes called the meeting to order at 3:30 p.m.

2. ROLL CALL/EXCUSED ABSENCES

A.

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Ald. Benner, and Commissioners Schmidt, Cruickshank, Sanders and DPW Radtke

PLAN COMMISSION MEMBERS ABSENT: Commissioner Sturm

OTHERS PRESENT: CDD Keil and Christine Symchych

3. PUBLIC COMMENTS ON ANY MATTER OF CONCERN TO THE CITY

Five (5) minute time limit for each person

A.

No one from the gallery spoke.

4. DISCUSSION

A. None

None

5. ACTION ITEMS

A. [Plan Commission Resolution - 01-2008 - Recommending Adoption of the City of Menasha Year 2030 Comprehensive Plan \(previously received in the 5/20/08 Plan Commission packet\)](#)

Moved by Comm. Schmidt, seconded by Alderman Benner to accept Plan Commission Resolution - 1-2008 recommending adoption of the City of Menasha Year 2030 Comprehensive Plan.

Commissioners discussed the following:

Chapters 1 & 2

Arrange housing goals in this order-

1. Promote positive image
2. Preserve, rehab, stabilize existing housing stock
3. Create a diverse base of housing opportunities

Adjust percentages on Table 2-10

Various typographical errors and word/sentence changes

Add 2007 building permit data to the building permit data chart and graph

Chapter 3

Bike path map- enlarge and include as a separate map

Either change the airport image to one of the Outagamie County airport or take out current image of the New Holstein airport

Various typographical errors and word/sentence changes

Add High Speed Rail and Fox Locks plan to list on p. 3-15

Add the following objectives to the last goal on p. 3-21:

Design streets to minimize heat islands

Facilitate multi-modal transportation

Minimize hard surfaces

Chapter 4

Try to obtain a list of schools in the Appleton School District that Menasha children attend now

Bullet the Menasha Schools list to look like the Appleton Schools list

Add in other higher education: Silver Lake College, University of Phoenix, Lakeland College, Milwaukee School of Engineering Satellite, ITT Technical Institute

Various typographical errors and word/sentence changes

Add Sustainability Board to section 4.2

On p.4-32- Communication and Public Facilities- add in policy/recommendation to evaluate

permitting process for construction of utility structures

Chapter 5

Eliminate Menasha City Hall and 408 Water Street from the list of historic buildings

5-23 Various typographical errors and word/sentence changes

Add section 5.15 to the table of contents

Add Doty Island Development Council to list of civic organizations

Add information about Menasha Historical Society and the Sustainability Board

Chapter 6

Move Doty Island Development Council information to chapter 5

Various typographical errors and word/sentence changes

Chapter 7

Enlarge the map on page 7-9 to a separate full size page

Chapter 9

Various typographical errors and word/sentence/formatting changes

Mapping Issues:

Create future Utilities and Community Facilities map

Historical Data- research historical data for accuracy, specifically archaeological data

Number the TIF districts on the Economic Development map

Questions related to the soils map

Motion Carried on voice vote

Results:

6. ADJOURNMENT

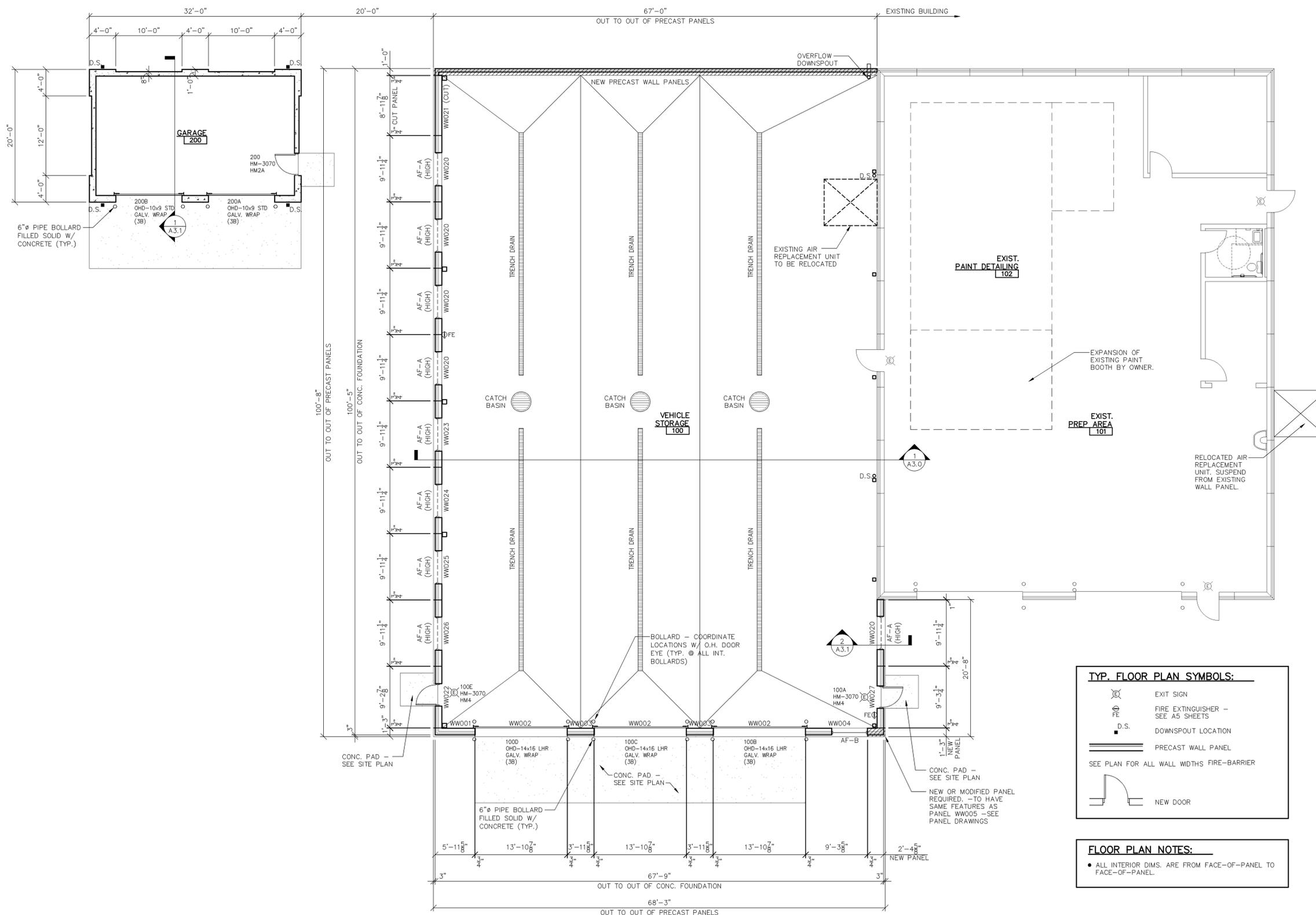
A.

Moved by DPW Radtke, seconded by Comm. Schmidt to adjourn at 5:40 p.m.

Motion Carried on voice vote

Results:

DRAFT



FLOOR PLAN

SCALE: 1/8" = 1'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

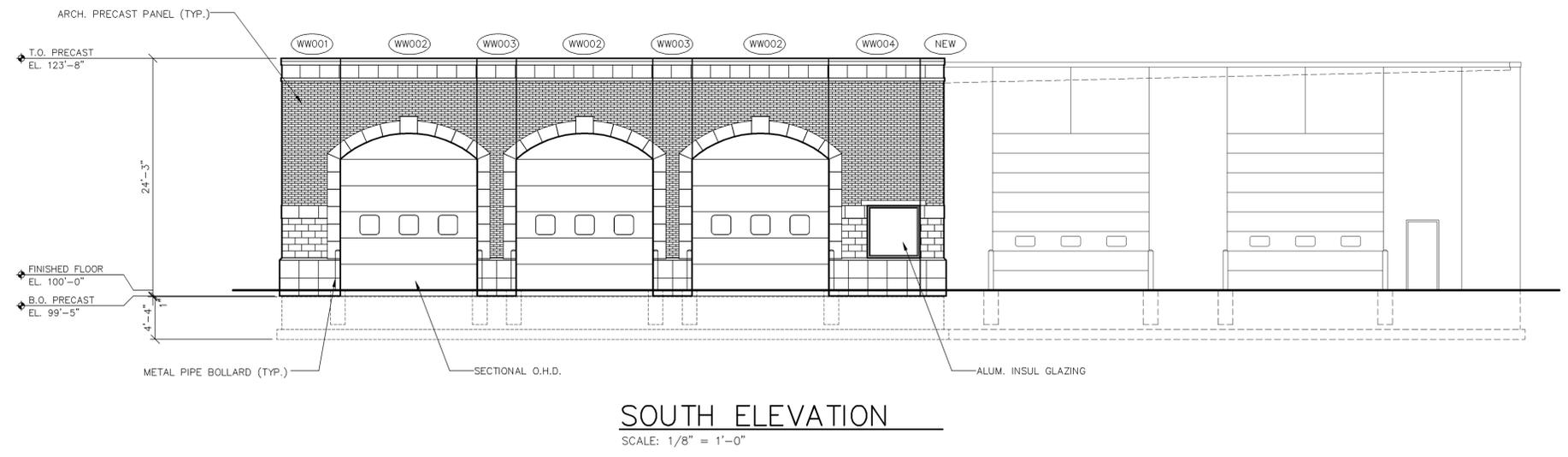


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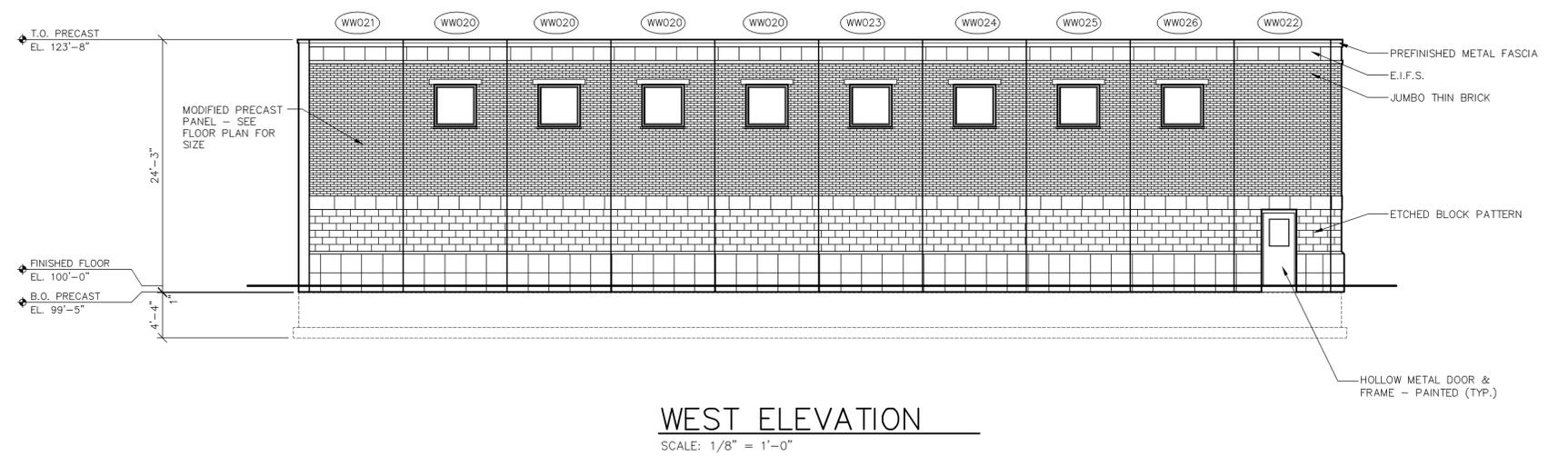
BUILDING ELEVATION NOTES:

- ALL EXPOSED METAL (INCLUDING H.M. DOORS AND FRAMES, PIPE BOLLARDS, ETC.) TO BE PAINTED.
- WALL PANELS ON NORTH ELEVATION TO BE SMOOTH TEXTURED INSULATED PRECAST CONCRETE - COLOR: NATURAL.
- SEE PRECAST CONCRETE DRAWINGS FOR FIELD-CUT OPENING LOCATIONS.

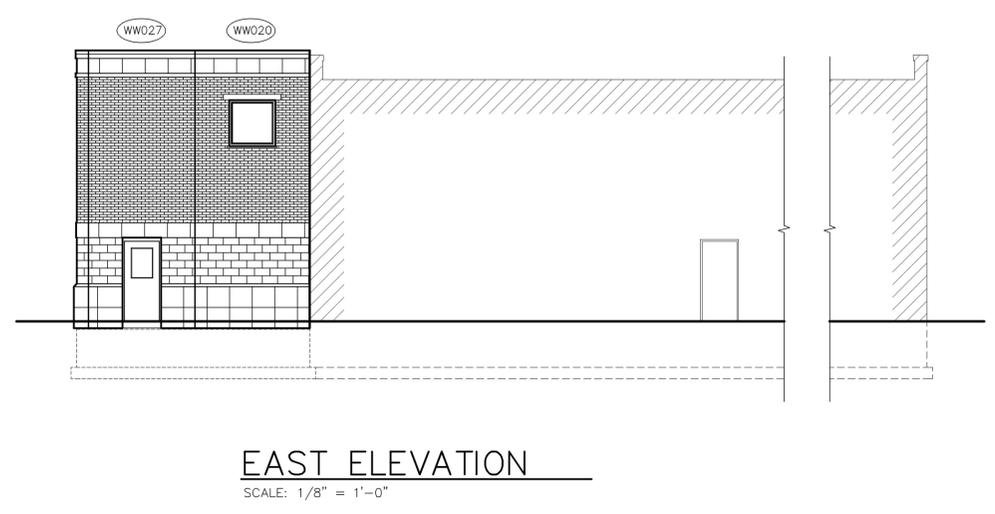
NOTE:
PRECAST WALL PANEL SUPPLIER SHALL VERIFY THE FEASIBILITY OF USING PANELS SUPPLIED BY OWNER INCLUDING STRUC. CALCULATIONS - EXACT LOCATION OF THESE PANELS ON THE NEW BUILDING ELEVATION TO BE BY THE PRECAST SUPPLIER



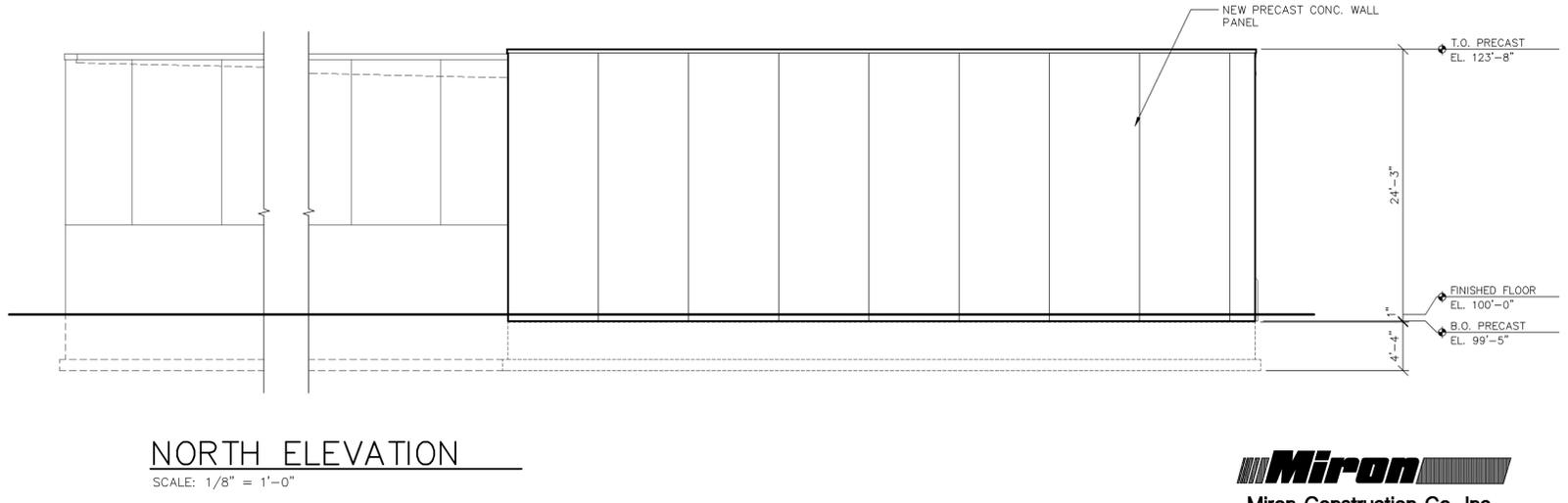
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

OWNER:
MIRON CONSTRUCTION CO, INC.
1471 McMAHON DRIVE
NEENAH, WI 54956

PROJECT:
MIRON MAINTENANCE SHOP ADDITION
1801 BUD DRIVE
MENASHA, WI 54952

PRELIMINARY PLAN DATE:
JUNE 4, 2008

DATE:
JOB NUMBER:
806040

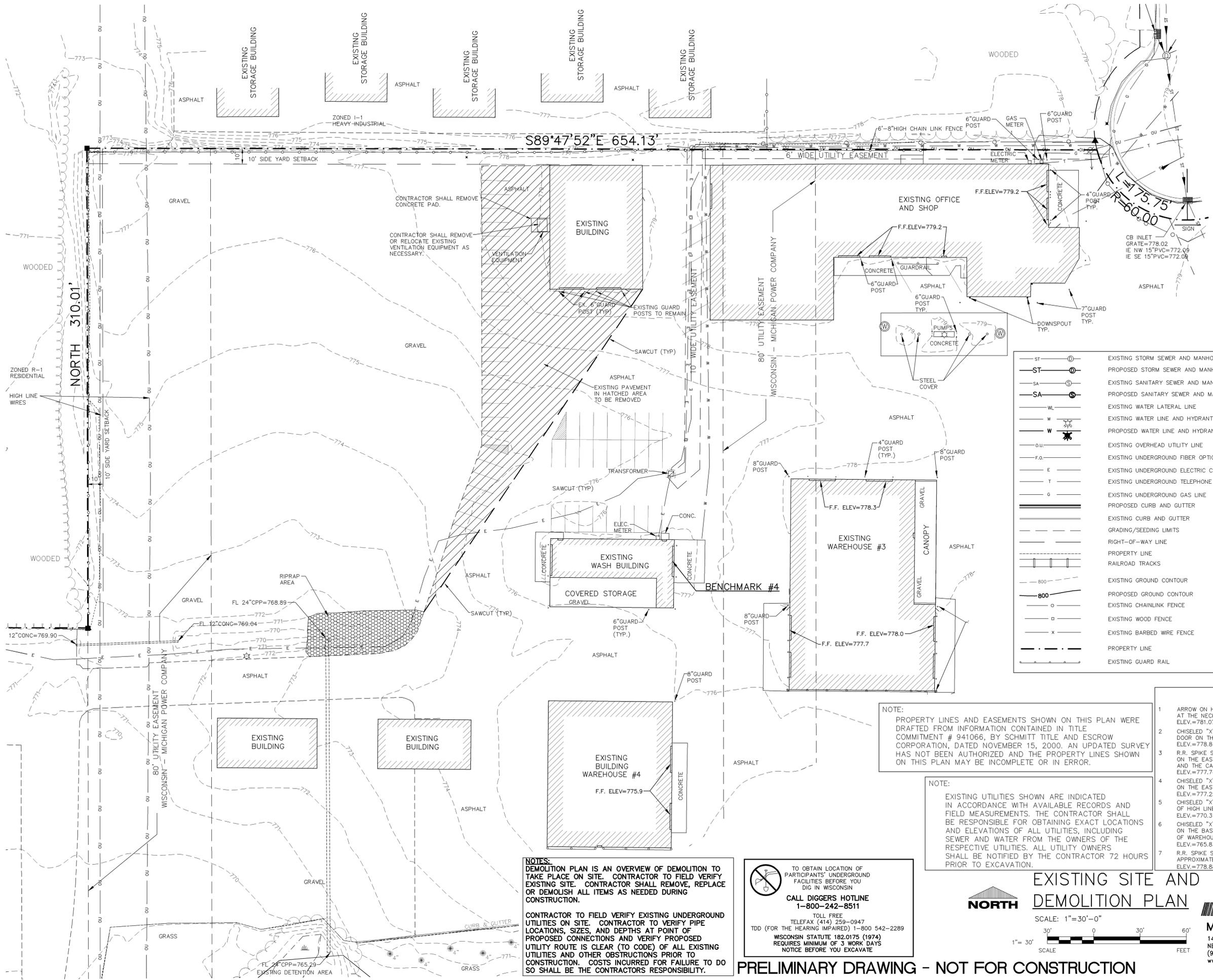
SHEET
A2.0

Miron
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1471 McMAHON DRIVE P.O. Box 509
NEENAH, WI 54956
(920) 969-7000 FAX: (920) 751-8150
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LEGEND:

- 000.00 EXISTING SPOT ELEVATIONS
- 000.00 PROPOSED SPOT ELEVATIONS
- 000.00 TC PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)
- 000.00 BC PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)
- 000.00 TW PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)
- ⊗ WATER VALVE IN BOX
- ⊙ WATER VALVE IN MANHOLE
- ⊗ WATER SERVICE VALVE
- ⊙ TELEPHONE MANHOLE
- ⊙ EXISTING ROUND CATCH BASIN
- ⊙ EXISTING SQUARE CATCH BASIN
- ⊙ EXISTING CURB INLET
- ⊙ PROPOSED CURB INLET
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE WITH GUY WIRE
- ⊙ STREET LIGHT
- ⊙ TELEPHONE PEDESTAL
- ⊙ ELECTRIC PEDESTAL
- ⊙ CABLE TV PEDESTAL
- ⊙ DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW
- ⊙ WELL
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING SIGN
- ⊙ CENTER LINE
- ⊙ HANDICAP PARKING STALL
- ⊙ GAS VALVE
- 1-1/4" REBAR SET WEIGHING 4.30 LB/FT.
- 3/4" REBAR SET WEIGHING 1.50 LB/FT.
- 1-1/4" REBAR FOUND
- 3/4" REBAR FOUND
- ⊙ 2" IRON PIPE FOUND
- ⊙ 1" IRON PIPE FOUND
- ⊙ FLOOD LIGHT
- ⊙ SECTION CORNER
- ⊙ APRON ENDWALL
- ⊙ MARSH AREA
- ⊙ DECIDUOUS TREE WITH TRUNK DIAMETER
- ⊙ CONIFEROUS TREE
- ⊙ SHRUB
- ⊙ STUMP
- ⊙ SOIL BORING
- ⊙ WOODED AREA
- ⊙ HEDGE

- ST EXISTING STORM SEWER AND MANHOLE
- ST PROPOSED STORM SEWER AND MANHOLE
- SA EXISTING SANITARY SEWER AND MANHOLE
- SA PROPOSED SANITARY SEWER AND MANHOLE
- WL EXISTING WATER LATERAL LINE
- W EXISTING WATER LINE AND HYDRANT
- W PROPOSED WATER LINE AND HYDRANT
- OU EXISTING OVERHEAD UTILITY LINE
- F.O. EXISTING UNDERGROUND FIBER OPTIC LINE
- E EXISTING UNDERGROUND ELECTRIC CABLE
- T EXISTING UNDERGROUND TELEPHONE CABLE
- G EXISTING UNDERGROUND GAS LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- GRADING/SEEDING LIMITS
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- RAILROAD TRACKS
- EXISTING GROUND CONTOUR
- PROPOSED GROUND CONTOUR
- EXISTING CHAINLINK FENCE
- EXISTING WOOD FENCE
- EXISTING BARBED WIRE FENCE
- PROPERTY LINE
- EXISTING GUARD RAIL



NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT # 941066, BY SCHMITT TITLE AND ESCROW CORPORATION, DATED NOVEMBER 15, 2000. AN UPDATED SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE:
EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTES:
DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

EXISTING SITE AND DEMOLITION PLAN
SCALE: 1" = 30'-0"
1" = 30'
SCALE
FEET

Miron
Miron Construction Co., Inc.
1471 McMAHON DRIVE P.O. Box 509
NEENAH, WI 54956
(920) 969-7000 FAX: (920) 751-8150
www.MIRONCONST.COM

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

OWNER:
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1471 McMAHON DRIVE
NEENAH, WI 54956

PROJECT:
MIRON MAINTENANCE SHOP ADDITION
1801 BUD DRIVE
MENASHA, WI 54952

PRELIMINARY PLAN DATE:

JUNE 4, 2008

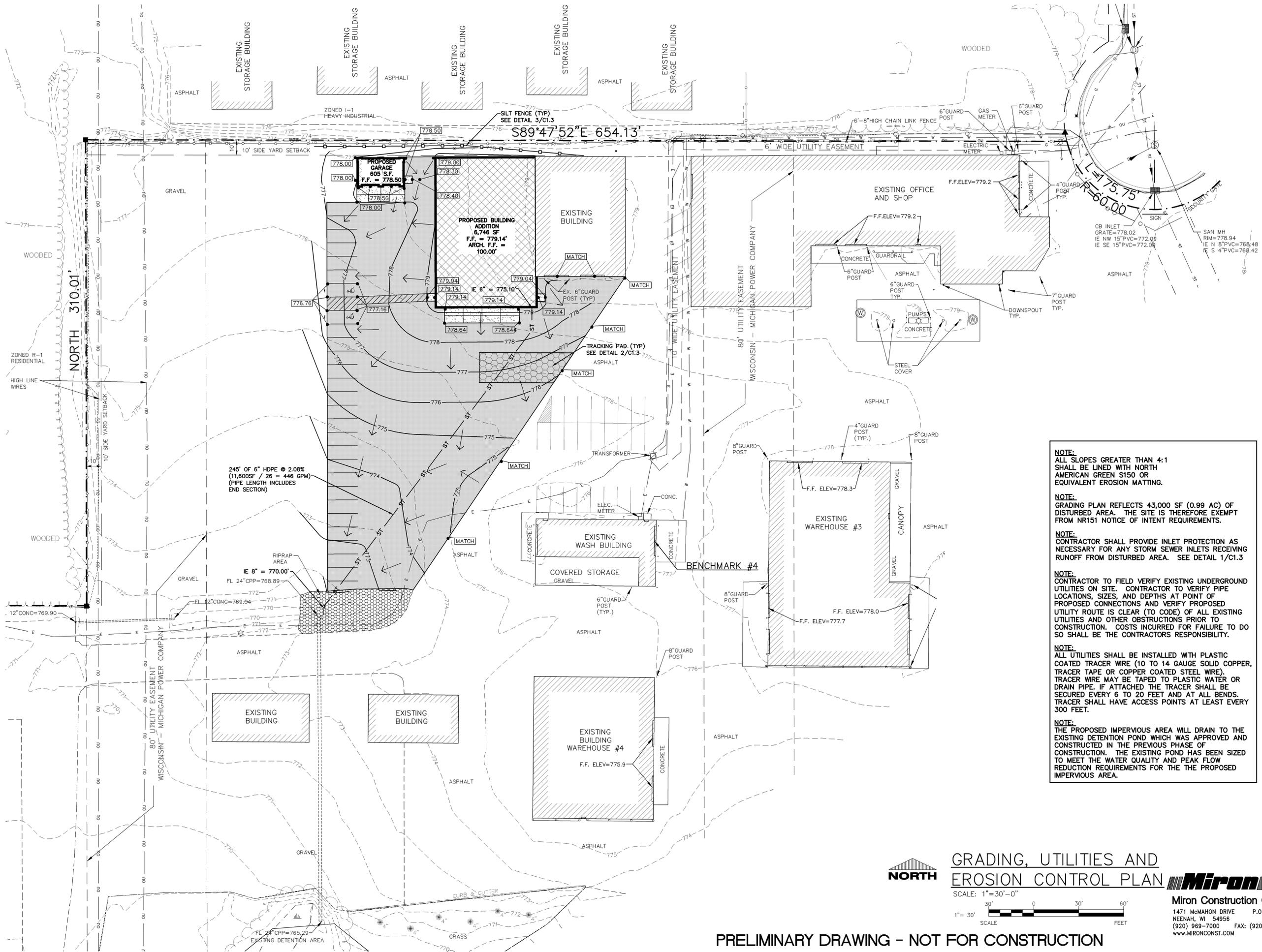
DATE:

JOB NUMBER:
806040

SHEET

C1.2

© 2008 EXCEL ENGINEERING INC.



NOTE:
ALL SLOPES GREATER THAN 4:1 SHALL BE LINED WITH NORTH AMERICAN GREEN S150 OR EQUIVALENT EROSION MATTING.

NOTE:
GRADING PLAN REFLECTS 43,000 SF (0.99 AC) OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM NR151 NOTICE OF INTENT REQUIREMENTS.

NOTE:
CONTRACTOR SHALL PROVIDE INLET PROTECTION AS NECESSARY FOR ANY STORM SEWER INLETS RECEIVING RUNOFF FROM DISTURBED AREA. SEE DETAIL 1/C1.3

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

NOTE:
ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, TRACER TAPE OR COPPER COATED STEEL WIRE). TRACER WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

NOTE:
THE PROPOSED IMPERVIOUS AREA WILL DRAIN TO THE EXISTING DETENTION POND WHICH WAS APPROVED AND CONSTRUCTED IN THE PREVIOUS PHASE OF CONSTRUCTION. THE EXISTING POND HAS BEEN SIZED TO MEET THE WATER QUALITY AND PEAK FLOW REDUCTION REQUIREMENTS FOR THE PROPOSED IMPERVIOUS AREA.

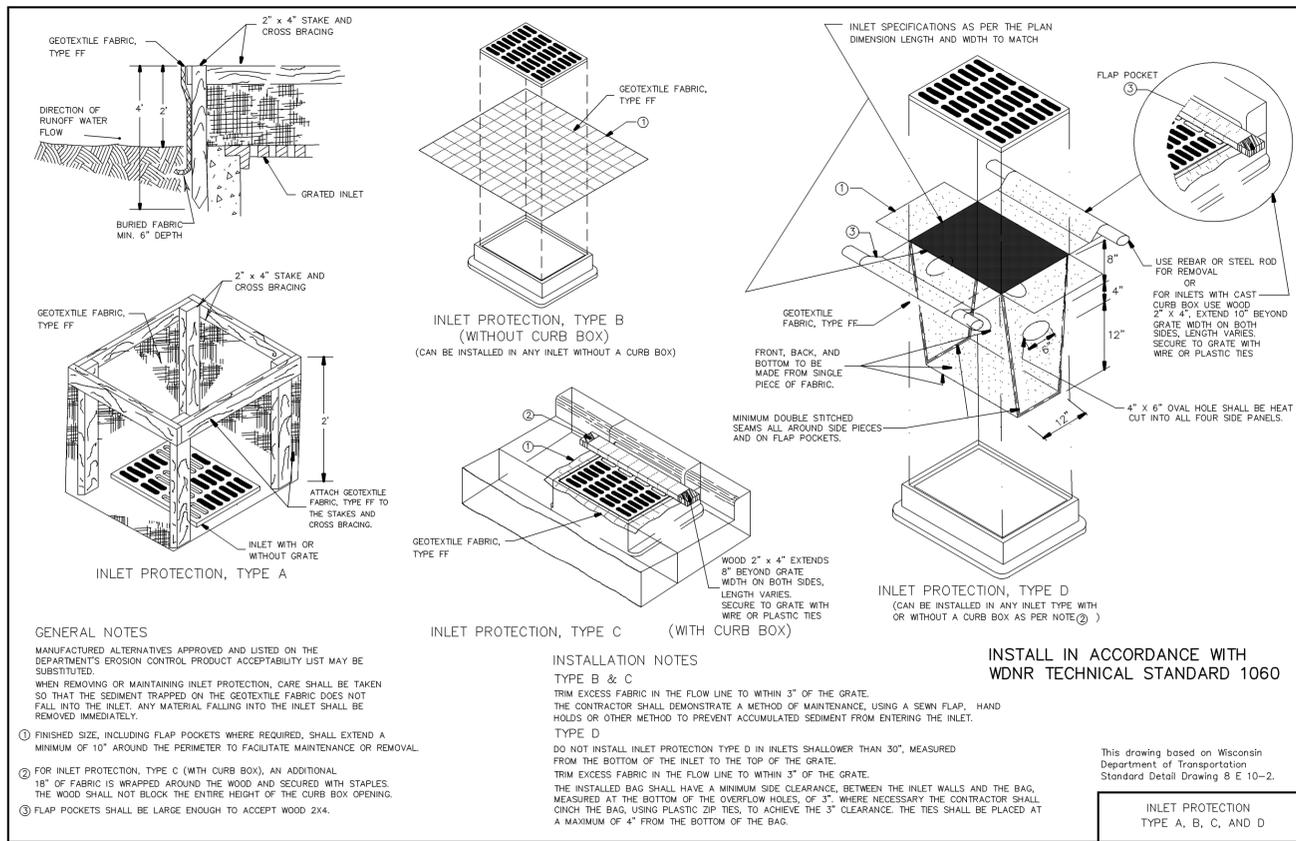
GRADING, UTILITIES AND EROSION CONTROL PLAN

SCALE: 1" = 30'-0"

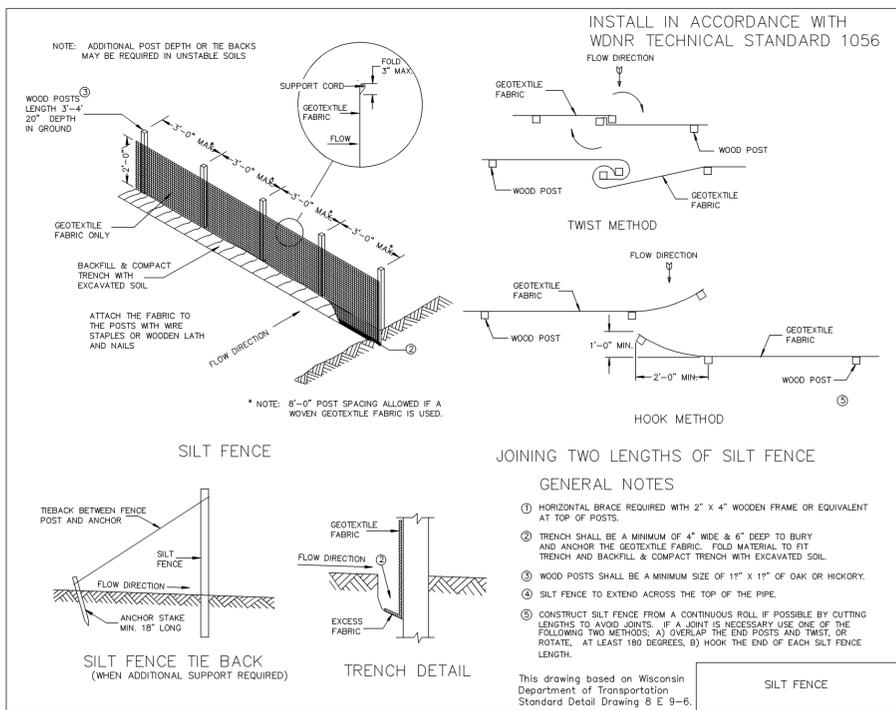


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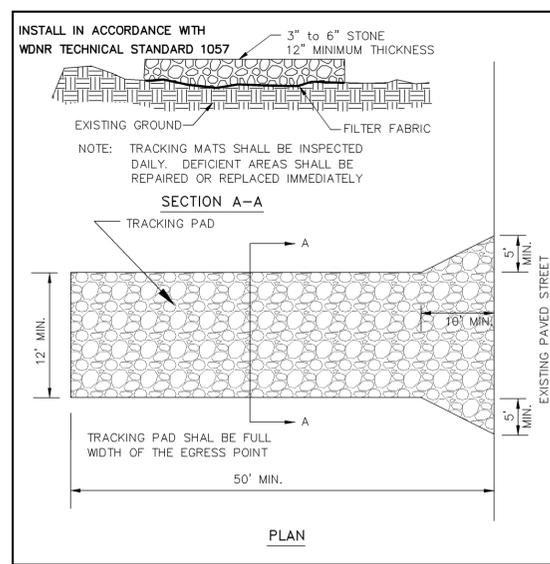
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



1 INLET PROTECTION DETAILS
C1.3 NO SCALE



3 SILT FENCE - INSTALLATION DETAIL
C1.3 NO SCALE



2 TRACKPAD DETAILS
C1.3 NO SCALE

EROSION CONTROL SPECIFICATIONS

EROSION CONTROL SHALL STRICTLY COMPLY WITH THE EROSION CONTROL GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES' RUNOFF MANAGEMENT PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL.

STONE TRACKING PADS SHALL BE PLACED ON SITE AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT, AND SHALL BE A MINIMUM OF 50 FEET LONG.

STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL CATCH BASINS, AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

ALL SILT FENCE SHALL BE PLACED ON SITE AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.

THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.

TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN A PERIOD OF ONE YEAR AND/OR LAND-DISTURBING ACTIVITIES THAT WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS.

PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN CONFORMANCE WITH WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS FOR TEMPORARY AND PERMANENT SEEDING.

ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

CONSTRUCTION SEQUENCE

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. PLACE ALL SILT FENCE. 3. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 4. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS. 5. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. CLEAR AND GRUB TREES AND BRUSH AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL PER OWNERS REQUEST. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

OWNER:
MIRON CONSTRUCTION CO., INC.
1471 McMAHON DRIVE
NEENAH, WI 54956

PROJECT:
MIRON MAINTENANCE SHOP ADDITION
1801 BUD DRIVE
MENASHA, WI 54952

PRELIMINARY PLAN DATE:

JUNE 4, 2008

DATE:

JOB NUMBER:
806040

SHEET

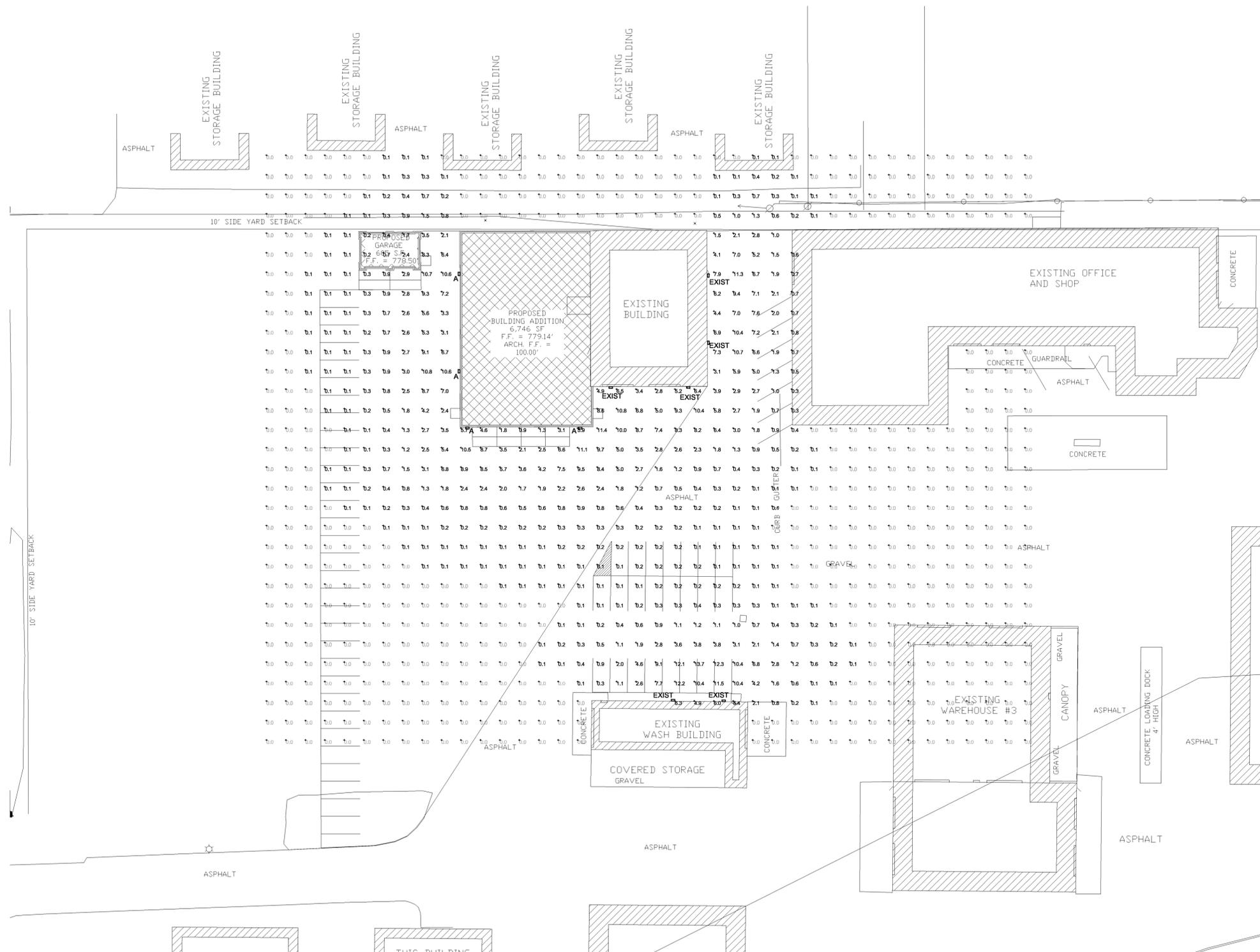
C1.3

Miron
Miron Construction Co., Inc.
1471 McMAHON DRIVE P.O. Box 509
NEENAH, WI 54956
(920) 969-7000 FAX: (920) 751-8150
www.MIRONCONST.COM

DETAILS & SPECIFICATIONS

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

2008 © EXCEL ENGINEERING INC.



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
□	A	4	141-FT-250MH		CLEAR 250MH/HOR PRORATED TO 1000 LUMENS	M1F25M.IES	23800 0.81 292

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.0 fc	13.7 fc	0.0 fc	N/A	N/A

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

TYPE "A"

Notes: Job Type:

**140 LINE
141 PERFORMANCE SUPER SCNCE**

GENERAL DESCRIPTION: The Cardco 141 is a high performance Super Scnce alternative to widely used 141 mounted fixtures. This is a security rated luminaire designed to be installed in a wall surface. The 141 luminaire is available in three different mounting distributions - a Forward Throw and a Wide Throw and a Medium Throw for Corridor. The luminaire is available in a variety of mounting options, including a wide throw, medium throw, and a medium throw. The luminaire is available in a variety of mounting options, including a wide throw, medium throw, and a medium throw.

ORDERING	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS
141	FT	250MH	120	BRP	F

PREFIX	DISTRIBUTION
141	FT Forward Throw
	WT Wide Throw
	MT Medium Throw

WATTAGE	VOLTAGE
250MH	120
400MH	208
250PSMH	277
320PSMH	347
400PSMH	480
250HPS	QUAD
400HPS	UNIV

FINISH	OPTIONS
BRP Bronze Paint	F Fixing
BLP Black Paint	FCB Button Type Photocontrol
WP White Paint	QST Quartz Standby
NP Natural Aluminum Paint	QSD Quartz Standby - Timed Delay
BGP Beige Paint	SL Spring Reflecting Lens
OC Optional Color Paint	UT Universal
SC Special Color Paint	WS Wall Mounted Box for Surface Conduit
	WGU Wall Mounted Box for Surface Conduit with 5' Uprill

Cardco Lighting 1800 227-3758
1811 Clovis Street, Grand San Marcos, TX 78866 (920) 751-8100
FAX: (920) 751-8150 www.cardco.com

TYPE "A"

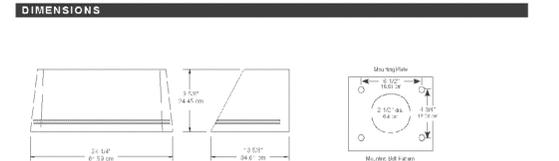
**140 LINE
141 PERFORMANCE SUPER SCNCE**

SPECIFICATIONS
GENERAL: Each Cardco 141 luminaire is a wall mounted cutoff luminaire for high intensity discharge lamps/ballasts. Internal components are totally enclosed in a rain tight, dust tight and corrosion-resistant housing. The housing, backplate and door frame are diecast aluminum. A choice of two (2) optical systems is available. Luminaires are suitable for wet locations (damp locations if inverted).

HOUSING: Single-piece soft tropezoidal housings are diecast aluminum. The housing wall thickness is .157"(.40cm). A memory retentive gasket seals the housing with the door frame to exclude moisture, dust, insects and pollutants from the optical system. A black, diecast ribbed backplate provides cooling to dissipate heat for larger lamp and ballast life.

DOOR FRAME: A single-piece diecast aluminum door frame integrates to the housing form. The door frame utilizes integral cast hinges secured to the housing with two (2) captive stainless steel fasteners. The heat and impact resistant 1/8" (.32cm) tempered glass lens is sealed to the frame using EPDM gasketing and is mechanically secured to the door frame with eight (8) galvanized steel retainers.

OPTICAL SYSTEMS: Reflectors are composed of specular anodized and faceted components, anodized, anodized and surface sealed. Reflector segments are cast in six (6) image duplicating patterns to achieve the wide throw, forward throw, or medium throw downlight distributions.



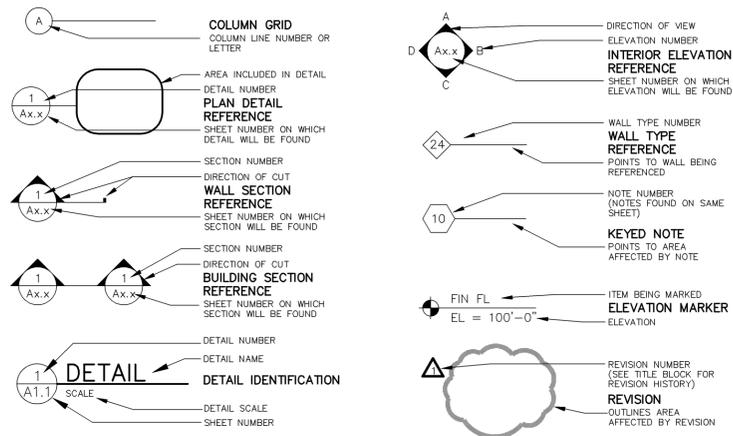
Note: Mounting plate center is located on the center of the luminaire width and 4.62" (11.78cm) above the luminaire bottom (damp position). Splices must be made in the 2-foot (61cm) wires. Mounting plate must be secured by max. 6/16" (1.63cm) diameter bolts (by other) structurally to the wall.

Cardco Lighting 1800 227-3758
1811 Clovis Street, Grand San Marcos, TX 78866 (920) 751-8100
FAX: (920) 751-8150 www.cardco.com

BUILDING ADDITION FOR: MIRON CONSTRUCTION CO.

MENASHA, WISCONSIN

SYMBOLS



ABBREVIATIONS

ADD. ADDITION	HR. HOUR	HVAC HEATING, VENTILATING & AIR CONDITIONING	RS. RAFTER	RELIEF SCUPPER
ACOUS. ACOUSTICAL	I.D. DRINKING FOUNTAIN	I.D. IDENTIFICATION	RAD. RADIUS	R.O. ROOF DRAIN
A/C AIR CONDITIONING	DISP. DISPENSER	I.D. INSULATED	REF. REFERENCE	SAN. SANITARY SEWER
A.F.F. ABOVE FINISH FLOOR	D.W. DRYWALL	GACH. GACH. INST.	SAN. SANITARY	SCHED. SCHEDULE
ALUM. ALUMINUM	E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM	INT. INTERIOR	SEC. SECTION	SERV. SERVICE
ALT. ALTERNATE	E.J. EXPANSION JOINT	JST. JOIST	SERV. SERVICE	SHTG. SHEATHING
APPROX. APPROXIMATELY	ELEC. / ELECTRICAL	JT. JOINT	SHTG. SHEATHING	SIDG. SIDING
ARCH. ARCHITECT	ELEV. ELEVATOR	KIT. KITCHEN	STM. STORM SEWER	SM. SIMILAR
ASPH. ASPHALT	ENCL. ENCLOSED	LOU. LOUVER	STM. STEAM	SPKLR. SPRINKLER
A.B. ANCHOR BOLT	ENGL. ENGINEER	LAM. LAMINATED	SPKLR. SPRINKLER	SPEC. SPECIFICATION
ADJ. ADJUSTABLE	E.W. EACH WAY	LAV. LAVATORY	SQ. SQUARE	STD. STANDARD
APT. APARTMENT	E.W.C. ELECTRIC WATER COOLER	LD. LOAD	STAIR. STAIR	STR. STRUCTURAL
AT. AT	EQ. EQUIPMENT	LI. LIGHT	STR. STEEL	STR. STAIR
AVE. AVENUE	EQ. EQUIPMENT	LI. LIGHT	STR. STEEL	STR. STEEL
AGGR. AGGREGATE	EQ. EQUIPMENT	LI. LIGHT	STR. STEEL	STR. STEEL
AUTO. AUTOMATIC	EQ. EQUIPMENT	LI. LIGHT	STR. STEEL	STR. STEEL
B.F. BARBER FREE	EQ. EQUIPMENT	LI. LIGHT	STR. STEEL	STR. STEEL
BD. BOARD	EXT. EXISTING	MAINT. MAINTENANCE	STR. STEEL	STR. STEEL
BLDC. BUILDING LINE	EXT. EXISTING	MAINT. MAINTENANCE	STR. STEEL	STR. STEEL
BL. BLOCK	EXP. EXPANSION	MECH. MECHANICAL	STR. STEEL	STR. STEEL
BL'G. BLOCKING	EXP. EXPOSED	MFR. MANUFACTURE	STR. STEEL	STR. STEEL
B.O.J. BOTTOM OF JOIST	F.D. FLOOR DRAIN	M.H. MAN HOLE	STR. STEEL	STR. STEEL
B.O. BOTTOM	FOUND. FOUNDATION	MISC. MISCELLANEOUS	STR. STEEL	STR. STEEL
B.T.U. BRITISH THERMAL UNITS	FEK. FIRE EXTINGUISHER	M.S. MACHINE SCREW	STR. STEEL	STR. STEEL
B.O.W. BOTTOM OF WALL	FG. FINISH GRADE	M.B. MACHINE BOLT	STR. STEEL	STR. STEEL
B.O.C. BOTTOM OF CURB	FIN. FINISH	MR. MOISTURE RESISTANT	STR. STEEL	STR. STEEL
CA. CABINET	FLR. FLOOR	MOUNT. MOUNTED	STR. STEEL	STR. STEEL
CAB. CABINET	FLR. FLOOR	MATER. MATERIAL	STR. STEEL	STR. STEEL
CLG. CALKING	FLR. FLOOR	MEZZ. MEZZANINE	STR. STEEL	STR. STEEL
CL. CAST IRON	FLR. FLOOR	MISCELLANEOUS CHANNEL	STR. STEEL	STR. STEEL
CLG. CEILING	FLR. FLOOR	N.I.C. NOT IN CONTRACT	STR. STEEL	STR. STEEL
CLM. CENTER	FLR. FLOOR	N.O. NOT TO SCALE	STR. STEEL	STR. STEEL
CTR. CENTER	FLR. FLOOR	N.T.S. NOT TO SCALE	STR. STEEL	STR. STEEL
C/C CENTER	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.L. CENTER LINE	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.T. CERAMIC TILE	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.O. CLEAN OUT	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CLR. CLEAR	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.W. COLD WATER	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
COL. COLUMN	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
COM. COMPOSITION	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
COMPACT. COMPACT MASONRY UNIT	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CONC. CONCRETE	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CONT. CONTINUOUS	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CONTR. CONTRACTOR	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.B. CATCH BASIN	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CONN. CONNECTION	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
CTDC. COUNTER-SINK CORRUGATED COLD WATER	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
C.W. COLD WATER	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DBL. DOUBLE	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DEG. DEGREE	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DET. DETAIL	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DIAG. DIAGONAL	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DIA. DIAMETER	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DN. DOWN	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DR. DOOR	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DOWN. DOWNSPOUT	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DWG. DRAWING	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL
DEPT. DEPARTMENT	FLR. FLOOR	NAT. NATURAL	STR. STEEL	STR. STEEL

(ABBREVIATIONS PERTAIN TO CIVIL, ARCHITECTURAL, & STRUCTURAL DRAWINGS ONLY)

PROJECT INFORMATION

APPLICABLE BUILDING CODES

INTERNATIONAL BUILDING CODE 2006

BUILDING SIZE

EXISTING BUILDING (PAINT SHOP)	4,800 S.F.
BUILDING ADDITION (VEHICLE STORAGE)	6,746 S.F.
TOTAL BUILDING AREA	11,546 S.F.

CONSTRUCTION CLASSIFICATION

EXISTING PAINT SHOP CONSTRUCTED AS TYPE IIB (SECTION 602.2)
BUILDING ADDITION SHALL BE CONSISTENT WITH EXISTING CONSTRUCTION CLASSIFICATION

OCCUPANCY CLASSIFICATIONS

EXISTING BUILDING (PAINT SHOP):
STORAGE GROUP S-1 (SECTION 311.2) - REPAIR GARAGE
BUILDING ADDITION (VEHICLE STORAGE):
STORAGE GROUP S-1 (SECTION 311.3) - REPAIR GARAGE

NUMBER OF STORIES

NUMBER OF STORIES = (1) ONE

ALLOWABLE HEIGHTS AND AREAS

PER TABLE 503 - STORAGE GROUP S-1 (MOST RESTRICTIVE), TYPE II-B CONSTRUCTION
17,500 S.F. PER FLOOR W/ MAX. (3) STORY

MEANS OF EGRESS

TABLE 1016.1 200 FT. EXIT ACCESS TRAVEL DISTANCE (WITHOUT SPRINKLER SYSTEM) (MOST RESTRICTIVE)
TABLE 1005.1 EGRESS WIDTH PER OCCUPANT SERVED = 0.20* (WITHOUT SPRINKLER SYSTEM)
24 TOTAL OCCUPANTS x .20* = 4.80* EXIT WIDTH REQUIRED (32" MIN.)
TOTAL EXIT WIDTH PROVIDED = 144"

EXTERIOR WALL OPENINGS

BUILDING PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS DUE TO EXTERIOR WALLS NOT REQUIRED TO BE FIRE-RESISTANT RATED BASED ON FIRE SEPARATION DISTANCE (TABLE 602)

FIRE APPARATUS ACCESS & FIRE LANE

FIRE LANES ARE UNOBSTRUCTED
FIRE LANES ARE ACCESSIBLE FROM A PUBLIC ROAD
FIRE LANES DO EXTEND TO WITHIN 150 FT. OF ANY PORTION OF THE BUILDING
ALL PORTIONS OF THE BUILDING ARE WITHIN 30 FT. OF THE LOWEST LEVEL OF FIRE APPARATUS ACCESS
FIRE APPARATUS ACCESS ROADWAYS HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF AT LEAST 13'-6"
FIRE LANES HAVE AN UNOBSTRUCTED WIDTH OF AT LEAST 20 FT.
NO FIRE HYDRANTS ARE PROVIDED ON THE FIRE LANES
FIRE LANES HAVE AT LEAST A 28 FT. INSIDE TURNING RADIUS
FIRE LANES HAVE NO DEAD ENDS

SANITARY FIXTURES

MALE AND FEMALE HANDICAP ACCESSIBLE TOILET ROOMS ARE LOCATED IN EXISTING BUILDING WITHIN 500 FEET OF NEW ADDITION.

OCCUPANT LOADS

OCCUPANT LOADS BASED ON TABLE 1004.1.1

ROOM OR SPACE DESIGNATION	CLASSIFICATION OF TABLE 1003.2.2.2 OCCUPANCY FOR USE	FLOOR AREA (S.F.)	DENSITY SF/PERSON	OCCUPANT LOAD BY CALCULATION	OCCUPANT LOAD BY ACTUAL NO.	OCCUPANT LOAD BY COMBINATION	ROOM OR SPACE TOTAL
PAINT SHOP	WAREHOUSE	4800	500 GROSS	10	-	-	10
VEHICLE STORAGE	WAREHOUSE	6746	500 GROSS	14	-	-	14

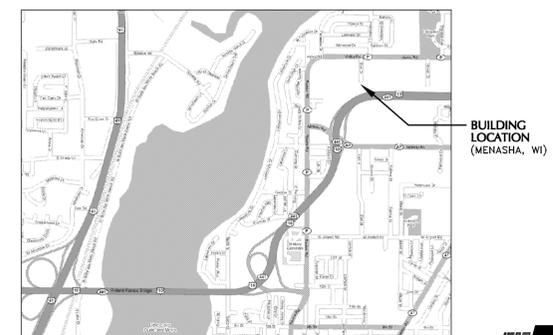
TOTAL OCCUPANT LOAD OF BUILDING = 24 OCCUPANTS

SHEET INDEX

SHEET	SHEET TITLE	ISSUED FOR CITY APPROVAL	ISSUED FOR CONSTRUCTION	REVISION #1	REVISION #2	REVISION #3	ISSUED FOR CONSTRUCTION
T1.0	TITLE SHEET, BUILDING DATA	6-4-08	7-??-??	-	-	-	YES
T2.0	GENERAL BUILDING SPECIFICATIONS						YES
CIVIL							
C1.0	EXISTING SITE AND DEMOLITION PLAN						NO
C1.1	SITE PLAN						NO
C1.2	GRADING, UTILITIES, AND EROSION CONTROL PLAN						NO
C1.3	DETAILS AND SPECIFICATIONS						NO
ARCHITECTURAL							
A1.1	FIRST FLOOR PLAN						YES
A1.2	ROOF PLAN						YES
A2.0	EXTERIOR BUILDING ELEVATIONS						YES
A3.0	BUILDING CROSS SECTION						YES
A3.1	BUILDING CROSS SECTION & WALL SECTION						YES
A6.0	DOOR SCHEDULE, SPECIFICATIONS, & DETAILS						YES
STRUCTURAL							
S1.0	FOUNDATION PLAN						YES
S1.1	ROOF FRAMING						YES
S2.0	FOUNDATION DETAILS						YES
S2.1	FOUNDATION DETAILS						YES
S3.0	STRUCTURAL SCHEDULES & DETAILS						YES
S5.0	STRUCTURAL DETAILS						YES

SHEET INDEX LEGEND:
PRELIM = PRELIMINARY SHEET
● = ISSUED SHEET

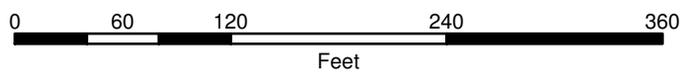
LOCATION MAP



BUILDING LOCATION (MENASHA, WI)



Proposed Rezoning - 121 River Street



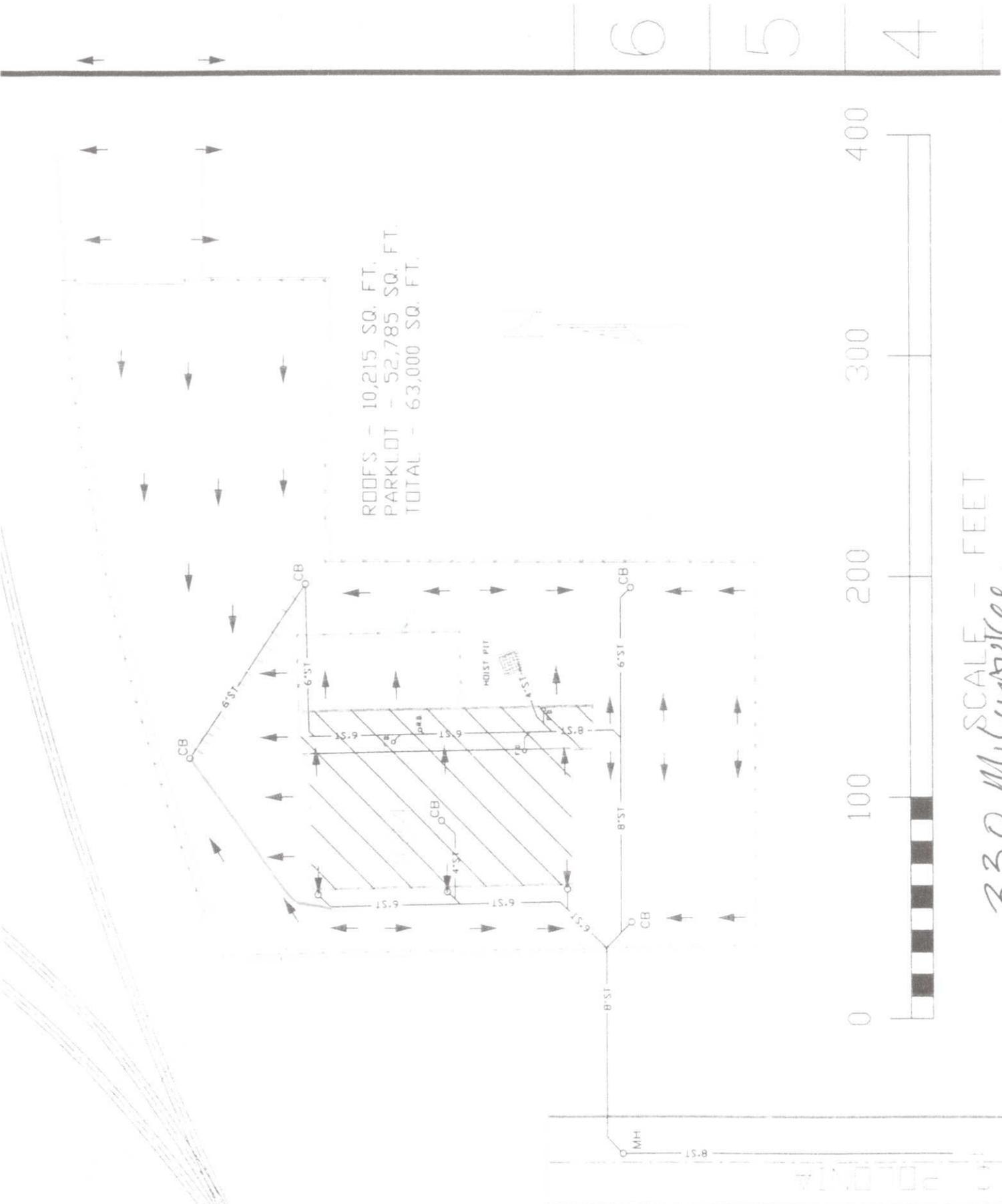
APPLETON RD.

DRUM CORPS DR.

SAVATION
ARMY

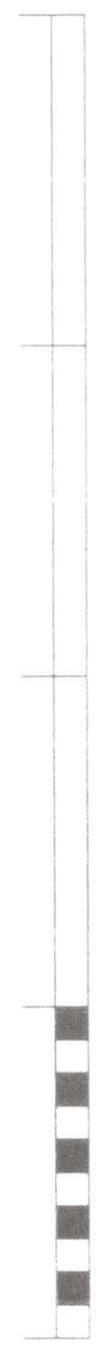
MIDWAY RD.





ROOFS - 10,215 SQ. FT.
 PARKLOT - 52,785 SQ. FT.
 TOTAL - 63,000 SQ. FT.

0 100 200 300 400



SCALE - FEET
 330 M. Curran

COOPER LIGHTING - LUMARK®

DESCRIPTION

The IMPACT Trapezoid cutoff wall luminaire makes an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mounted applications.

Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.

Catalog #	MH-IP-T-175-MT	Type	J1-J2
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

A ... Housing

The housing is a two-piece design of die-cast aluminum for precise control of tolerances and repeatability.

B ... Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-Box or wall with "Hook-N-Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.

C ... Optical Modules

All optical modules utilize high performance 95% reflective sheet. Type II optical module is standard.

D ... Ballast

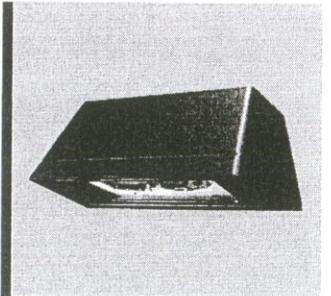
HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-22°F) for MH. Compact Fluorescent luminaires feature electronic universal 120-277V high efficient 50/60Hz ballast with -18°C (0°F) minimum starting.

E ... Door

Die-cast door features, 1/8" heat- and impact-resistant clear tempered glass lens mounted with internal plated steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive fasteners.

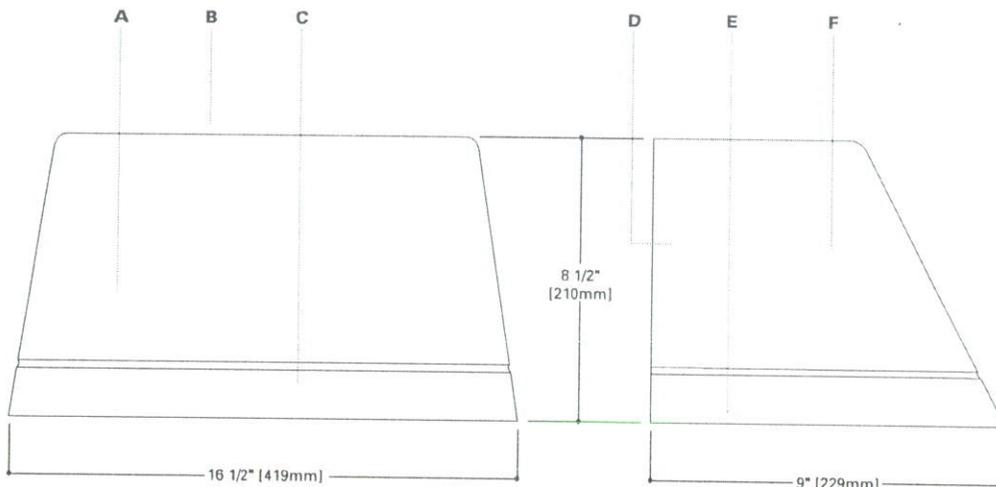
F ... Finish

Durable polyester powder coat finish. Standard color is bronze. Optional white and black colors available. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.



IP IMPACT TRAPEZOID

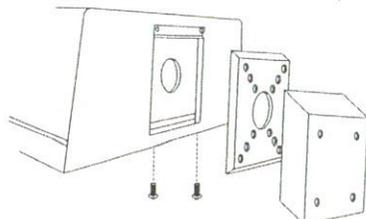
50 - 175W
High Pressure Sodium
Metal Halide
26 - 52W
Compact Fluorescent
**FULL CUTOFF
WALL MOUNT LUMINAIRE**



In downlight applications only.

HOOK-N-LOCK MOUNTING

(Mounting attachment included. J-Box not included.)



TECHNICAL DATA

25°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
Down Mounted—Wet Location
Up Mounted—Damp Location

ENERGY DATA

High Reactance Ballast Input Watts

50W HPS HPF (66 Watts)
50W MH HPF (72 Watts)
70W HPS HPF (91 Watts)
70W MH HPF (90 Watts)
100W HPS HPF (130 Watts)
100W MH HPF (129 Watts)
150W HPS HPF (190 Watts)
150W MH HPF (185 Watts)

CWA Ballast Input Watts

175W MH HPF (210 Watts)

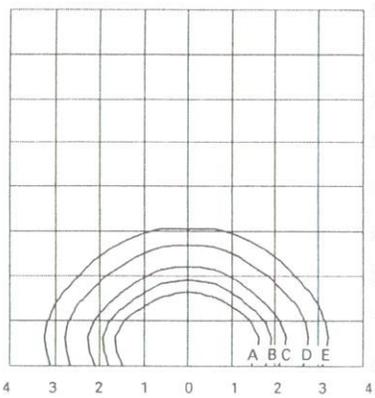
Electronic Ballast Input Watts

26W PL HPF (29 Watts)
32W PL HPF (36 Watts)
42W PL HPF (46 Watts)
52W PL HPF (55 Watts)

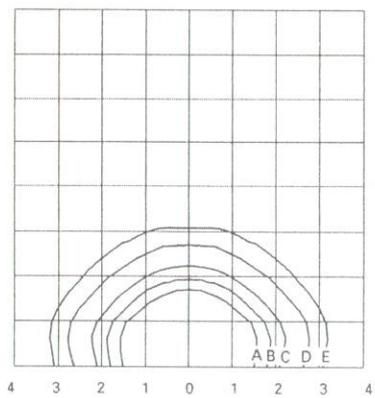
SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)





MHIP-T-175-MT-LL
175-Watt MH
16,000-Lumen Clear Lamp



HPIP-T-150-MT-LL
150-Watt HPS
16,000-Lumen Clear Lamp

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	4.50	2.25	1.13	0.45	0.23
15'	2.00	1.00	0.50	0.20	0.10
20'	1.12	0.56	0.28	0.11	0.06

ORDERING INFORMATION

Sample Number: MHIP-T-150-MT-LL

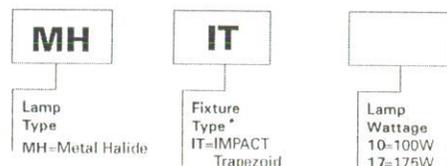


<p>Lamp Type</p> <p>HP: High Pressure Sodium MH: Metal Halide PL: Compact Fluorescent</p>	<p>Series</p> <p>IP: IMPACT</p> <p>Fixture Shape</p> <p>T: Trapezoid</p>	<p>Lamp Wattage</p> <p>HID ¹</p> <p>50: 50W² 70: 70W³ 100: 100W 150: 150W 175: 175W⁴</p> <p>Compact Fluorescent ⁵</p> <p>26/32/42: 26, 32, or 42W 52: (2) 26W⁶ 64: (2) 32W⁶ 84: (2) 42W⁶</p>	<p>Voltage ⁷</p> <p>120V: 120V 208V: 208V 240V: 240V 277V: 277V 347V: 347V 480V: 480V</p> <p>DT: Dual-Tap⁸</p> <p>MT: Multi-Tap, ⁹ wired 277V</p> <p>TT: Triple-Tap, ¹⁰ wired 347V</p> <p>E: Electronic (200-277V) ¹¹</p>	<p>Options ¹²</p> <p>Q: Quartz Restrike T4 Lamp^{13, 14, 15, 16}</p> <p>EM: Emergency Quartz Restrike T4 Lamp w/^{13, 14, 15, 16} Time Delay Relay</p> <p>EMI40-XXX: CFL Cold Weather Emergency Battery ^{17, 18} Pack (Must Specify 120V or 277V)</p> <p>CF/EM-XXX: Emergency Battery Pack (Must^{17, 18, 19} Specify 120V or 277V)</p> <p>QMR: Quartz Restrike MR16 Lamp^{15, 16, 20}</p> <p>EMMR: Emergency Quartz Restrike MR16 Lamp w/^{15, 16, 20} Time Delay Relay</p> <p>EM/SC: Emergency Separate Circuit T4 Lamp^{14, 16, 21}</p> <p>EM/SC/MR: Emergency Separate Circuit MR16^{22, 20, 21} Lamp</p> <p>EM/SC/12V: Emergency Separate Circuit (12V)^{22, 23}</p> <p>2QMR: (2) Quartz Restrike MR16 Lamp^{15, 16, 20}</p> <p>2EMMR: (2) Emergency Quartz Restrike MR16^{15, 16, 20} Lamp w/ Time Delay Relay</p> <p>2EM/SC/MR: (2) Emergency Separate Circuit MR16^{22, 20, 21} Lamps</p> <p>2EM/SC/12V: (2) Emergency Separate Circuit (12V)^{22, 23}</p> <p>2QMR/SC: (1) Quartz Restrike MR16 Lamp and (1)^{16, 20, 24} Emergency Separate Circuit MR16 Lamp</p> <p>2EMMR/SC: (1) Emergency Quartz Restrike MR16^{16, 20, 24} Lamp w/ Time Delay Relay and (1) Emergency Separate Circuit MR16 Lamp</p> <p>F1: Single Fuse (120, 277 or 347V only)</p> <p>F2: Double Fuse (208, 240 or 480V only)</p> <p>LL: Lamp Included (Must Specify Wattage on PL)²⁵</p> <p>TR: Tamper Resistant Screw (Door and Mounting Plate)</p> <p>UPL10: 10% Uplight</p> <p>PE: Internal Photocontrol (Specify Voltage)</p> <p>PC: Button Type Photocontrol</p>	<p>Standard Color</p> <p>—: Bronze (Standard)</p> <p>WH: White</p> <p>BK: Black</p>
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- Notes:
- All HID lamps are medium-base.
 - Available in 120V, 277V and Dual-Tap.
 - Not available in 480V.
 - Metal Halide only.
 - 52W is (2) 26W quad tube lamps. 32, 42, 64, 84W use compact triple tube CF lamps.
 - Not available with uplight option.
 - Products also available in non-US voltages and 50HZ for international markets.
 - Dual-Tap ballast is 120/277V wired 277V.
 - Multi-Tap ballast 120/208/240/277V wired 277V.
 - Triple-Tap ballast 120/277/347V wired 347V.
 - Supplied with 120V through 277V 50/60Hz for Compact Fluorescent.
 - Add as suffix in the order shown.
 - The power might need to cycle and allow HID lamp to cool in warm climates. Available up to 175W HID.
 - For use with T4 double contact bayonet base, 100W maximum, 120V halogen lamp by others.
 - Lamps wired to quartz restrike relay.
 - Not available with CFL.
 - Battery pack will operate up to 52W CFL lamp for 90 minutes.
 - CF lamps only, rated for minimum temperature of 0°F (-18°C), 52W CFL maximum, heater rated for 300W with thermostat control.
 - CF lamps only, rated for minimum temperature of 32°F (0°C), 52W CFL maximum.
 - For use with MR16, GU10 base, 50W maximum, 120V halogen lamp by others.
 - Leads run out back for connection to auxiliary 120V circuit.
 - Not Available with 52, 64, 84 CFL.
 - Supplied with 12V Bi-pin socket for connection to emergency battery pack (supplied by others). For use with MR16, GU5.3 base, 35W maximum, 12V halogen lamp by others.
 - (1) Lamp wired quartz restrike, (1) lamp wired emergency separate circuit, leads run separate out back.
 - Lamp is shipped separate from luminaire. Lamp is Cooper designated product based on luminaire requirements. Specified lamps must be ordered as a separate line item.

STOCK SAMPLE NUMBER (Lamp Included)

SAMPLE NUMBER: MHIT17



NOTES: Options not available with stock products. Order Accessories as separate items for field installation. Refer to standard ordering information to add options and accessories.
* Painted bronze. Supplied with lamp and Multi-Tap HPF ballast wired 277V.

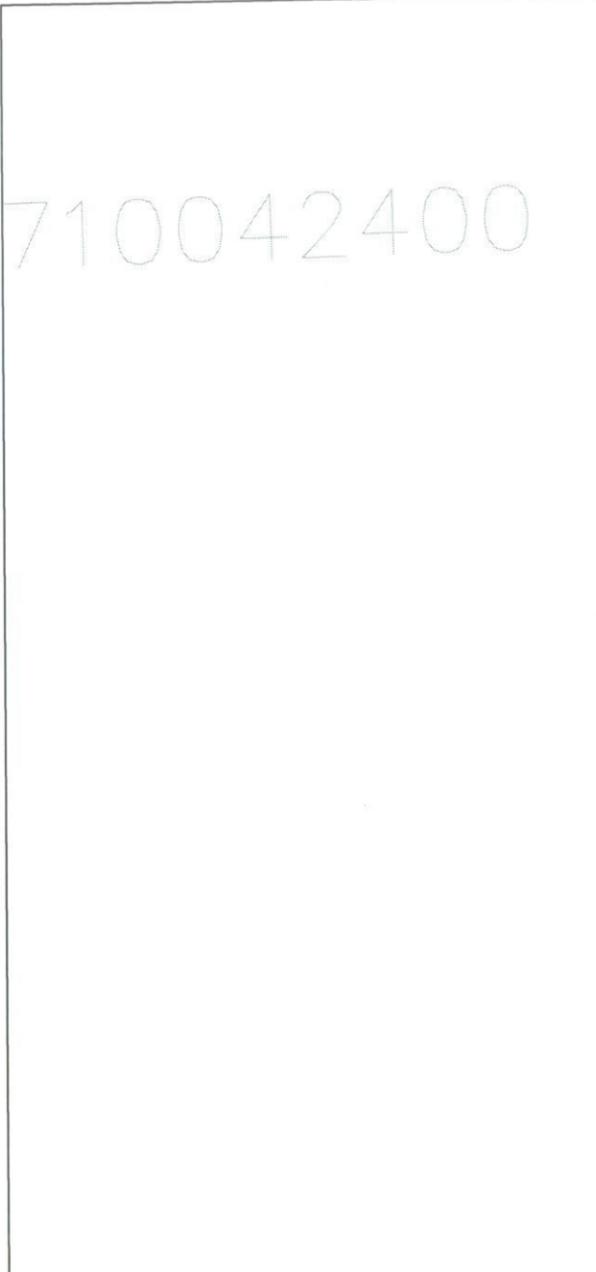
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7100412C



EXISTING BUILDING

- J1 175W MH TRAPZOID CUTOFF @ 12'
- J2 175W MH TRAPZOID CUTOFF @ 12'



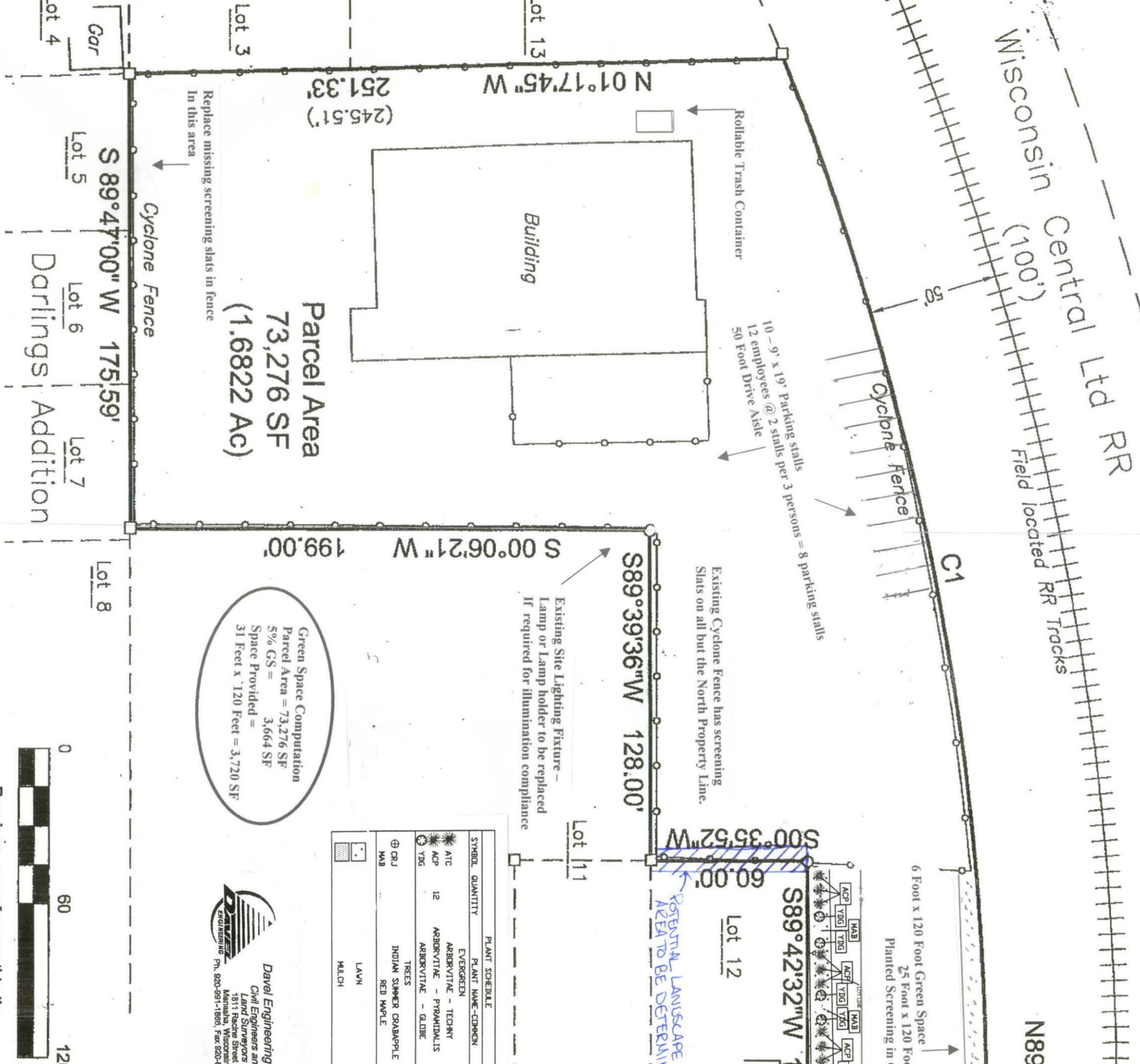
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Menasha Site LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	LAMP	LUMENS	MOUNTING	LLF	QTY
J1/J2	Lumark 'Impact Trapezoid' (1) MHIP-T-175MT	(1) 175 MH	14000	12' AFG	0.70	8

ELECTRICAL PLAN
SCALE: NTS

Plat of Survey

Part of Lot 4 and Part of Lot 11 of the Subdivision of Lot 1 of DARLINGS ADDITION
 in the Southeast 1/4 of Section 15, Township 20 North, Range 17 East,
 Second Ward, City of Menasha, Winnebago County, Wisconsin



Parcel Area
 73,276 SF
 (1.6822 Ac)

Green Space Computation
 Parcel Area = 73,276 SF
 5% GS = 3,664 SF
 Space Provided =
 31 Feet x 120 Feet = 3,720 SF

Existing Site Lighting Fixture -
 Lamp or Lamp holder to be replaced
 If required for illumination compliance

Existing Cyclone Fence has screening
 Slats on all but the North Property Line.

SYMBOL	QUANTITY	PLANT NAME-COMMON	PLANT SCHEDULE
★		EVERGREEN	
☀		ARBORVITAE - TECHNY	
☀	12	ARBORVITAE - PYRAMIDALIS	
☀		ARBORVITAE - GLOBE	
⊕		TREES	
⊕		INDIAN SUMMER CRABAPPLE	
⊕		RED MAPLE	
⊕		LAVN	
⊕		MALCH	



Davel Engineering and Land Surveyors, Inc.
 Civil Engineers and
 Land Surveyors
 1811 Racine Street
 Menasha, Wisconsin
 Ph. 920-991-1888, Fax 920-991-1889



Bearings are referenced to the
 West line of Milwaukee Street
 Recorded to bear N00°12'21"E