

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**April 7, 2015
3:30 PM**

AGENDA

- 3:30 PM – *Informal Public Hearing Regarding the Proposed Rezoning of Vacant Parcel Immediately East of 1233 Midway Road – Parcel #6-01635-00*
- 3:35 PM – *Informal Public Hearing Regarding the Proposed Rezoning of Parcel Immediately North of 1737 Racine Road – Parcel #4-00762-03*

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the March 3, 2015 Plan Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

E. DISCUSSION

1. Lighting Standards for Residential Properties *(to be received)*
2. April 14, 2015 Meeting Quorum

F. ACTION ITEMS

1. [Proposed Rezoning of Vacant Parcel Immediately East of 1233 Midway Road – Parcel #6-01635-00](#)
2. [Proposed Rezoning of Parcel Immediately North of 1737 Racine Road – Parcel #4-00762-03](#)
3. [Site Plan Amendment – 600 Racine Street, Additional Parking and Stormwater Management Facilities](#)
4. [Proposed Street Name Change – Province Link](#)
5. Relocation of Veterans Memorial from Menasha Public Library to Isle of Valor, Smith Park – Recommendation from Parks and Recreation Board *(to be received)*

G. ADJOURNMENT

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
March 17, 2015
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order at 3:30 PM by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, DPW Radtke and Commissioners Sturm, DeCoster and Cruickshank.

PLAN COMMISSION MEMBERS EXCUSED: Ald. Benner and Comm. Schmidt

OTHERS PRESENT: CDD Keil, CDC Heim, Jim Stahl and Steve Grenell.

C. MINUTES TO APPROVE

1. **Minutes of the March 3, 2015 Plan Commission Meeting**

Motion by Comm. Sturm, seconded by Comm. Cruickshank to approve the March 3, 2015 Plan Commission meeting minutes. The motion carried 5-0.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. **Lighting Standards for Residential Properties**

CDD Keil explained the information in the packets was to serve as an idea of how other communities have handled this. CDD Keil stated that he is hesitant to incorporate residential lighting standards in the zoning code ordinance due to enforcement concerns. CDD Keil will put together some language for inclusion in the nuisance section of the municipal code, have the Police Department review it and bring it back for discussion at the next meeting.

2. **Comprehensive Plan Review – Rezoning of Parcel Immediately North of 1737 Racine Road from C-1 to I-1**

CDD Keil explained that Miron Construction has acquired two parcels on Racine Road, one of which is zoned I-1, Heavy Industrial while the other is zoned C-1, General Commercial. The rezoning of the C-1 parcel is being sought to allow Miron Construction to store cranes, job trailers, crane booms and other job site equipment. The area would be strictly storage and fenced for security. There was an error in the initial Comprehensive Plan designating future land use for that parcel as Parks and Recreation. The plan was amended and rezoned to C-1, General Commercial. The rezoning from C-1 to I-1 would be required to allow the use that Miron Construction is proposing. The rezoning does require a Comprehensive Plan Amendment.

Commissioners discussed the following:

- Transitional area along the north boundary of the lot
- Height of the equipment proposed to be stored there
- Gravel of the lot for up to one year
- Stormwater management on site

Jim Stahl, Miron Construction, addressed these areas of concerns. He stated that there would be an eight foot fence installed with a 30 foot setback for vision clearance for the driveway to the north due to the curve in Racine Road. Mr. Stahl indicated that the lot would be blacktopped as soon as possible however the timeframe for the gravel being in place is based on soil borings

and suggested one year waiting period. There will not be much traffic on the lot and therefore concerns on dust to the R-1 zoned parcels to the west should not be an issue. Mr. Stahl also indicated that they are working with McMahon and Associates and the DOT regarding a detention pond which will be placed during the 441 DOT project. They will be installing temporary stormwater management on site until the detention pond is operational. Mr. Stahl also indicated that he did not see any barriers to installing plantings within the 30 foot setback area along Racine Road to protect the R-1 zoned parcels to the east.

It was the consensus of the Commission that Miron Construction, along with Community Development staff, proceed with the rezoning and Comprehensive Plan Amendment for the parcel.

F. ACTION ITEMS

1. Certified Survey Map – River Lea Court (1 Lot CSM)

DPW Radtke explained that the dedicated private road to public street right-of-way was petitioned by the private owners on River Lea Court. In order for the petition to be approved, the road must be brought up to city standards with the residents of that road being assessed for costs incurred. Due to the current configuration of the private street and the placement of structures and utilities, strict adherence to the Street Design Standards per Section 14-1-8(v)(1) Standards and 14-1-8(v)(2) Cul-de-sacs of the Menasha Code of Ordinances is not feasible.

Commissioners discussed the following:

- Cul-de-sac radius
- Road right-of-way width
- Design standards
- Existing easements

DPW Radtke indicated that he would be addressing the cul-de-sac radius with NMFR; DPW Radtke will also discuss the easements with Menasha Utilities staff.

Motion by DPW Radtke, seconded by Comm. Cruickshank to approve the Certified Survey Map, River Lea Court (1 Lot CSM) and Certified Survey Map, River Lea Court (4 Lot CSM) with variations and exceptions for the minimum right-of-way radius of sixty (60) feet and a minimum inside curb radius of forty (40) feet be waived per Section 14-1-18 of the Menasha Code of Ordinances. The motion carried 5-0.

2. Certified Survey Map – River Lea Court (4 Lot CSM)

This item discussed as part of Certified Survey Map – River Lea Court (1 Lot CSM).

H. ADJOURNMENT

Motion by Comm. DeCoster, seconded by DPW Radtke, to adjourn at 4:20 PM. The motion carried 5-0.

Minutes respectfully submitted by CDC Heim.



March 31, 2015

Dear Property Owner:

The City of Menasha will be holding a public hearing regarding the proposed rezoning of property located immediately east of 1233 Midway Road, which includes parcel number 6-01635-00. You are being notified of the proposed rezoning in accordance with Section 13-1-142 of the Menasha Code of Ordinances.

Rezoning of the property from C-3 Business and Office District to C-4 Business Park District is proposed based on a recommendation of the Plan Commission associated with review of the City of Menasha Comprehensive Plan.

Please see the enclosed map and public hearing notice for more information.

The Plan Commission will be considering this rezoning at an informal public hearing on Tuesday, April 7, 2015 at 3:30 p.m. or shortly thereafter in the Third Floor Council Chambers of City Hall, 140 Main Street. Persons interested in this matter will be given an opportunity to comment and ask questions about the proposed rezoning. A second public hearing before the Common Council will be held Tuesday, April 21, 2015 at 6:00 p.m. or shortly thereafter in the Council Chambers of City Hall, 140 Main Street.

Sincerely,

Kristi Heim
Community Development Coordinator

Enclosures

c: City Clerk Deborah Galeazzi



MIDWAY RD. (COUNTY RD. AP)

WITTMANN DR.

**Proposed Rezoning from
C-3 Business & Office District to
C-4 Business Park District**



Legend

- Parcel Proposed for Rezoning:
Parcel ID# 6-01635-00



CITY OF MENASHA
Public Hearing

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Public hearings will be held as follows:

Plan Commission

Date of Hearings: Tuesday, April 7, 2015

Time of Hearings: 3:30 p.m. or shortly thereafter

Place of Hearings: City Hall Council Chambers, 140 Main Street, Menasha

Common Council

Date of Hearings: Tuesday, April 21, 2015

Time of Hearings: 6:00 p.m. or shortly thereafter

Place of Hearings: City Hall Council Chambers, 140 Main Street, Menasha

Deborah A. Galeazzi
City Clerk

Publish: April 3 & 13, 2015.

City of Menasha
SPECIAL ZONING APPROVAL

Owner Sunshine Real Estate LLP Case or Plan No. _____

Address 1471 McMahon Drive Fee \$ 350.00

Applicant (if different than Owner) _____

Address n/a

Zoning C-1 Parcel Number(s) 4-00762-03

PLEASE INDICATE WHICH REQUEST IS BEING MADE

- Rezoning Special Use Flood Plain Map Amendment
 Appeal or Variance PUD Plan Approval

Description of Request: Request for rezoning a parcel of property from commercial to industrial. Property will be used for storage of construction equipment, tools, trailers, and construction materials.

Owner/Agent *James Stab*
Signature

(If applicable) Formal Hearing _____

Informal Hearing _____ Notice Mailed _____

Notice Mailed _____ Notice Mailed _____

Action Taken: _____ 20____

APPROVED DENIED

Conditions (if any): _____



March 31, 2015

Dear Property Owner:

The City of Menasha will be holding a public hearing regarding the proposed rezoning of property located immediately north of 1737 Racine Road, which includes parcel number 4-00762-03. You are being notified of the proposed rezoning in accordance with Section 13-1-142 of the Menasha Code of Ordinances.

Rezoning of the property from to C-1 General Commercial District to I-1 Heavy Industrial District is proposed based on a recommendation of the Plan Commission associated with review of the City of Menasha Comprehensive Plan.

Please see the enclosed map and public hearing notice for more information.

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Sincerely,

Kristi Heim
Community Development Coordinator

Enclosures

c: City Clerk Deborah Galeazzi



**Proposed Rezoning from
C-1 General Commercial District
to I-1 Heavy Industrial District**



Legend

- Parcel Proposed for Rezoning:
Parcel ID# 4-00762-03



CITY OF MENASHA
Public Hearing

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Deborah A. Galeazzi
City Clerk

Publish: April 3 & 13, 2015

A NEW BUILDING FOR: BOYS & GIRLS CLUB OF MENASHA

MENASHA, WISCONSIN

MATERIAL INDEX-PLANS,SECTIONS

	EARTH		FINISHED LUMBER
	COMPACTED FILL		RIGID INSULATION
	GRAVEL FILL		BATT INSULATION
	CERAMIC TILE		DRYWALL
	POURED CONCRETE		STEEL
	CONCRETE BLOCK		PRECAST CONCRETE
	CONCRETE BLOCK FILLED		ACOUSTIC TILE
	FACE BRICK		BITUMINOUS PAVING
	STONE		EXISTING WALL TO BE REMOVED
	ROUGH LUMBER		EXISTING WALL TO REMAIN
	PLYWOOD		CONSTRUCT NEW WALL

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)

SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

ELEVATION MARK - NEW

ELEVATION MARK - EXISTING

DRAWING SYMBOLS

DOOR TAG

REVISION NUMBER

WINDOW TAG

COLUMN LINE DESIGNATION- NEW

WALL TYPE

STAIRWAY DIRECTION INDICATION

KEYNOTE MARK - ACCESSORIES

KEYNOTE MARK - DEMOLITION NOTES

KEYNOTE MARK - PLAN NOTES

SPOT ELEVATION MARKER

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF SAFETY AND PROFESSIONAL SERVICES	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2009
CLASS OF CONSTRUCTION	II-B
OCCUPANCY CLASSIFICATION	ASSEMBLY (A-3)
LOCAL ZONING AUTHORITY	CITY OF MENASHA
BUILDING SPRINKLED	YES
BUILDING AREA:	
FIRST FLOOR:	25,454 S.F.
SECOND FLOOR:	8,210 S.F.
CANOPY:	2,670 S.F.
TOTAL BUILDING SQ. FT.:	36,334 S.F.

PROJECT LOCATION

600 RACINE STREET (AT SIXTH STREET)
MENASHA, WISCONSIN



NOTE:
THE INTENT AND MEANING OF THE CONSTRUCTION DOCUMENTS IS THAT THE CONTRACTOR UNDER THE TERMS OF THE CONTRACT SHALL TAKE ALL ACTIONS NECESSARY AND REQUIRED TO PROVIDE ALL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, TRANSPORTATION, FACILITIES AND APPURTENANCES WHICH ARE INDICATED OR REASONABLY IMPLIED BY EACH DRAWING AND EACH SECTION OF THE SPECIFICATIONS, ALL OF WHICH ARE COLLECTIVELY NECESSARY AND REQUIRED FOR THE CONSTRUCTION OF THE DESCRIBED STRUCTURES AND FACILITIES.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK

SHEET INDEX

CS-S COVER SHEET - SITE

CIVIL

C1	ABBREVIATIONS, SYMBOLS & NOTES
C2	EXISTING CONDITIONS & DEMOLITION
C3	PROPOSED DRAINAGE PLAN
C4	EROSION & SEDIMENT CONTROL PLAN
C5	BIOFILTER DETAILS
C6	EROSION & SEDIMENT CONTROL DETAILS
C7	MISCELLANEOUS DETAILS

ARCHITECTURAL

A-0.1	SITE PLAN
A-0.2	SITE DETAILS
L-0.1	LANDSCAPE PLAN
L-0.2	LANDSCAPE NOTES & DETAILS
ES101	SITE LIGHTING PLAN/SITE LIGHTING PHOTOMETRICS
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-4.1	EXTERIOR ELEVATIONS
A-4.2	EXTERIOR ELEVATIONS

PROPERTY OWNER

OWNER
BOYS & GIRLS CLUB OF THE FOX VALLEY
160 S. BADGER AVENUE
APPLETON, WI 54914
PH (920)731-0555
CONTACT: GREG LEMKE-ROCHON

CONSULTANTS

ARCHITECTURAL
GRIES ARCHITECTURAL GROUP, INC.
500 N. COMMERCIAL STREET
NEENAH, WI 54956
PH (920)722-2445 FX (920)722-6605
CONTACT: STEVE BORSECNIK, AIA, LEED AP

CIVIL
McMAHON
1445 McMAHON DRIVE/ P.O. BOX 1025
NEENAH, WI 54957-1025
PH (920)751-4200 FX (920)751-4284
CONTACT: JENNIFER L. SCHAFF, P.E.

Gries
Architectural Group Inc.
500 North Commercial Street
Neenah, Wisconsin 54956
Phone: (920)722-2445 Fax: (920)722-6605
www.griesarchitect.com



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A NEW BUILDING FOR:
BOYS & GIRLS CLUB OF MENASHA
MENASHA, WISCONSIN

SITE PLAN REVIEW SUBMITTAL 03-10-2015

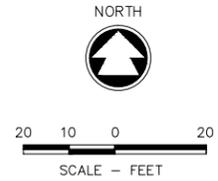
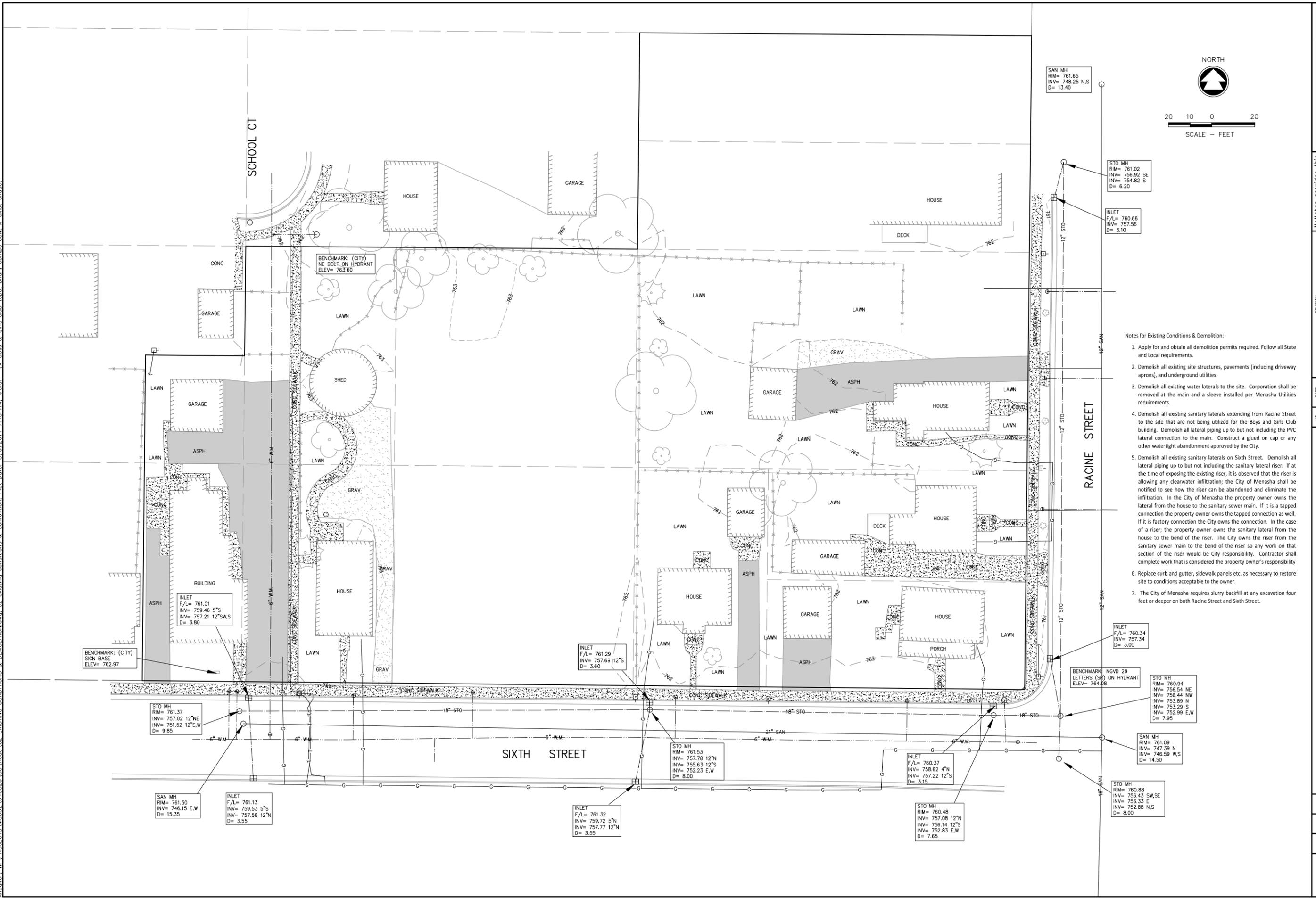
date: 03-10-2015

job: 14-009

d. by: SMB

rev.: 03/10/15

CS-S



SAN MH
RIM= 761.65
INV= 748.25 N,S
D= 13.40

STO MH
RIM= 761.02
INV= 756.92 SE
INV= 754.82 S
D= 6.20

INLET
F/L= 760.66
INV= 757.56
D= 3.10

BENCHMARK: (CITY)
NE BOLT ON HYDRANT
ELEV= 763.60

BENCHMARK: (CITY)
SIGN BASE
ELEV= 762.97

STO MH
RIM= 761.37
INV= 757.02 12"NE
INV= 751.52 12"E,W
D= 9.85

SAN MH
RIM= 761.50
INV= 746.15 E,W
D= 15.35

INLET
F/L= 761.13
INV= 759.53 5"S
INV= 757.58 12"N
D= 3.55

INLET
F/L= 761.29
INV= 757.69 12"S
D= 3.60

INLET
F/L= 761.32
INV= 759.72 5"N
INV= 757.77 12"N
D= 3.55

STO MH
RIM= 761.53
INV= 757.78 12"N
INV= 755.63 12"S
INV= 752.23 E,W
D= 8.00

INLET
F/L= 760.37
INV= 758.62 4"N
INV= 757.22 12"S
D= 3.15

STO MH
RIM= 760.48
INV= 757.08 12"N
INV= 756.14 12"S
INV= 752.83 E,W
D= 7.65

BENCHMARK: NGVD 29
LETTERS (SR) ON HYDRANT
ELEV= 764.08

STO MH
RIM= 760.94
INV= 756.54 NE
INV= 755.44 NW
INV= 753.89 N
INV= 753.29 S
INV= 752.99 E,W
D= 7.95

SAN MH
RIM= 761.09
INV= 747.39 N
INV= 746.59 W,S
D= 14.50

STO MH
RIM= 760.88
INV= 756.43 SW,SE
INV= 756.33 E
INV= 752.88 N,S
D= 8.00

- Notes for Existing Conditions & Demolition:
1. Apply for and obtain all demolition permits required. Follow all State and Local requirements.
 2. Demolish all existing site structures, pavements (including driveway aprons), and underground utilities.
 3. Demolish all existing water laterals to the site. Corporation shall be removed at the main and a sleeve installed per Menasha Utilities requirements.
 4. Demolish all existing sanitary laterals extending from Racine Street to the site that are not being utilized for the Boys and Girls Club building. Demolish all lateral piping up to but not including the PVC lateral connection to the main. Construct a glued on cap or any other watertight abandonment approved by the City.
 5. Demolish all existing sanitary laterals on Sixth Street. Demolish all lateral piping up to but not including the sanitary lateral riser. If at the time of exposing the existing riser, it is observed that the riser is allowing any clearwater infiltration; the City of Menasha shall be notified to see how the riser can be abandoned and eliminate the infiltration. In the City of Menasha the property owner owns the lateral from the house to the sanitary sewer main. If it is a tapped connection the property owner owns the tapped connection as well. If it is factory connection the City owns the connection. In the case of a riser; the property owner owns the sanitary lateral from the house to the bend of the riser. The City owns the riser from the sanitary sewer main to the bend of the riser so any work on that section of the riser would be City responsibility. Contractor shall complete work that is considered the property owner's responsibility.
 6. Replace curb and gutter, sidewalk panels etc. as necessary to restore site to conditions acceptable to the owner.
 7. The City of Menasha requires slurry backfill at any excavation four feet or deeper on both Racine Street and Sixth Street.

McMahon provides this drawing and data, regardless of form, as instruments of service. The client and/or contractor shall be responsible for the accuracy of the information provided. The client and/or contractor shall indemnify and hold McMahon harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising out of or from the use of this drawing or data without prior written consent by McMahon.

NO.	DATE	REVISION	Notes
1	8/4/14		

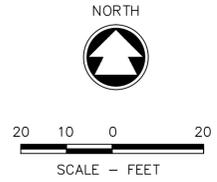
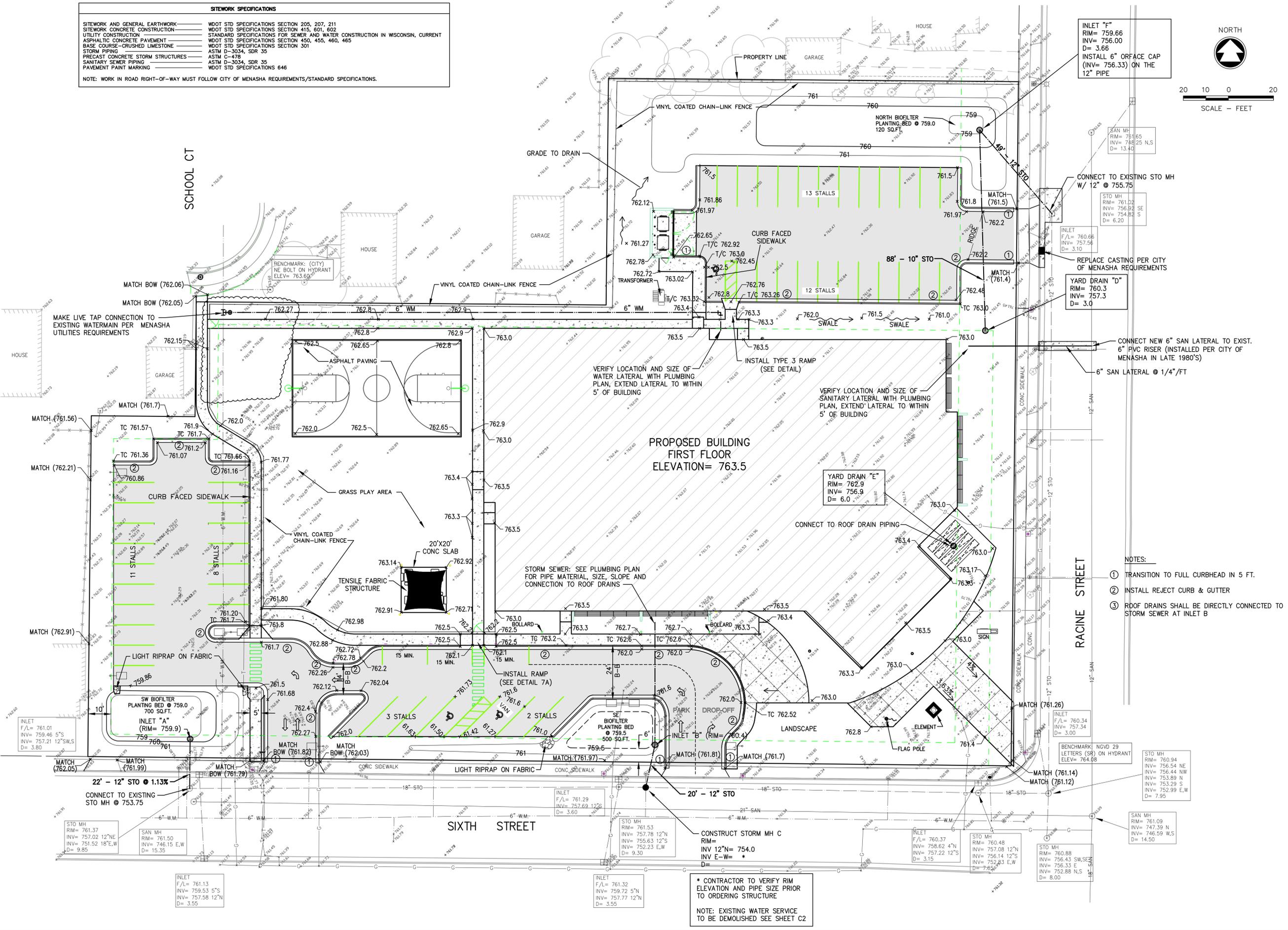
**BOYS AND GIRLS CLUB
CITY OF MENASHA
EXISTING CONDITIONS & DEMOLITION**

DESIGNED JLS	DRAWN KRH
PROJECT NO. M0032-940326	
DATE JULY 2014	
SHEET NO. C2	

ischoff, w. PROJECTS\M0032\940326\001\Acad\C3 PROPOSED DRAINAGE PLAN.dwg, c3 proposed drainage plan, Plot Date: 3/2/2015 5:32 PM, xrefs: (x=boys & girls club topo, x=exist shade, bndrv comps dew, x=boys & girls club proposed, 070114_boysandgirlsclub-sheet-g-0-1-101)

SITWORK SPECIFICATIONS	
SITWORK AND GENERAL EARTHWORK	WDOT STD SPECIFICATIONS SECTION 205, 207, 211
SITWORK CONCRETE CONSTRUCTION	WDOT STD SPECIFICATIONS SECTION 415, 601, 602
UTILITY CONSTRUCTION	STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT
ASPHALTIC CONCRETE PAVEMENT	WDOT STD SPECIFICATIONS SECTION 450, 455, 460, 465
BASE COURSE—CRUSHED LIMESTONE	WDOT STD SPECIFICATIONS SECTION 301
STORM PIPING	ASTM D-3034, SDR 35
PRECAST CONCRETE STORM STRUCTURES	ASTM C-478
SANITARY SEWER PIPING	ASTM D-3034, SDR 35
PAVEMENT PAINT MARKING	WDOT STD SPECIFICATIONS 646

NOTE: WORK IN ROAD RIGHT-OF-WAY MUST FOLLOW CITY OF MENASHA REQUIREMENTS/STANDARD SPECIFICATIONS.



McMAHON
 ENGINEERS ARCHITECTS
 1445 McMAHON DRIVE NEENAH, WI 54956
 MAILING: P.O. BOX 1025 NEENAH, WI 54957-1025
 TEL: (920) 751-1200 FAX: (920) 751-4284
 www.mcmgrp.com

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NO.	DATE	SPECS / MISC.	REVISION
1	8/2014		
2	10/2014	ADDITIONAL DOORS/UTILITY NOTES.	
3	12/2014	PARKING LOT ADDITION	
4	1/2015	RAMP DETAIL 7A	
5	3/2015	REMOVE SCHOOL CT DUMPSTER ENCLOSURE	

BOYS AND GIRLS CLUB
CITY OF MENASHA
PROPOSED DRAINAGE PLAN

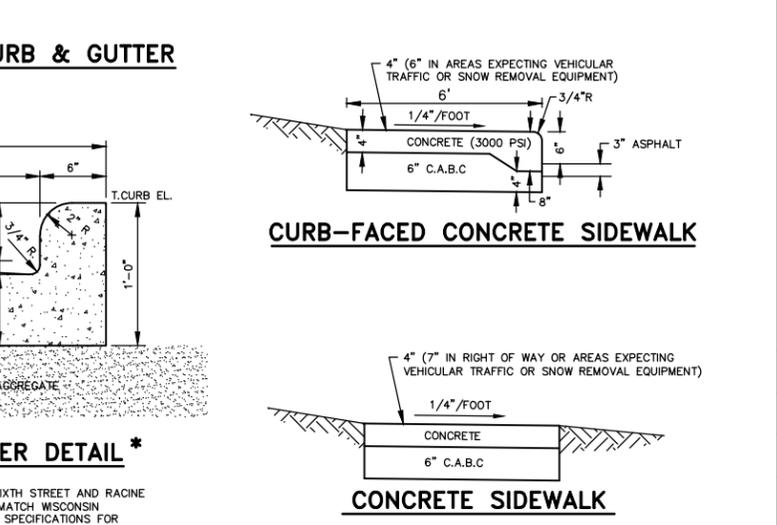
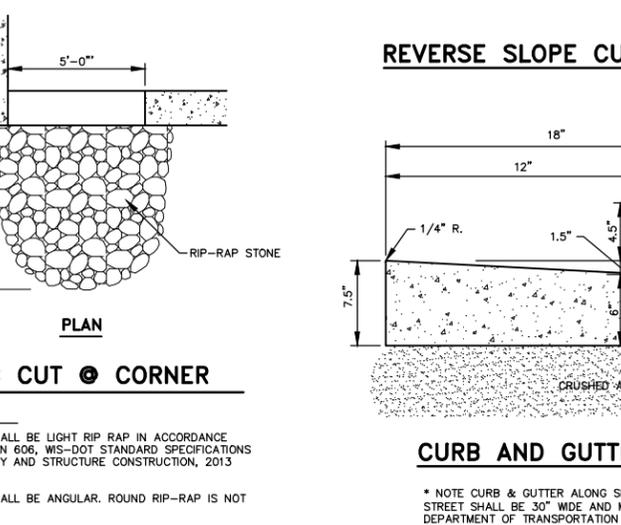
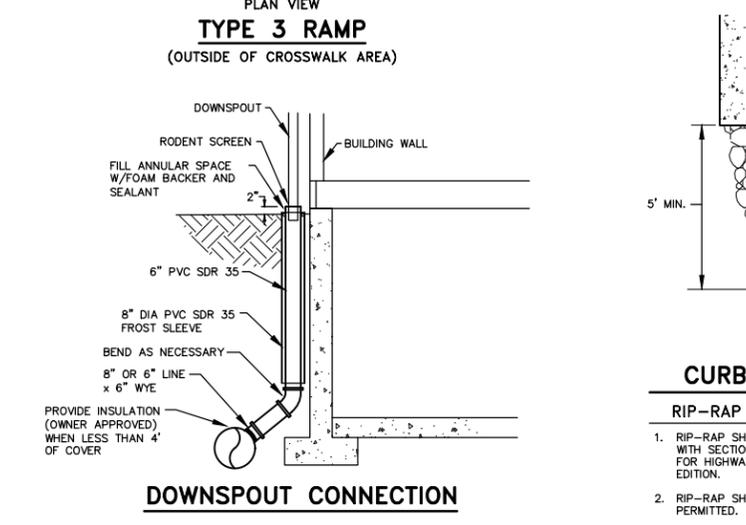
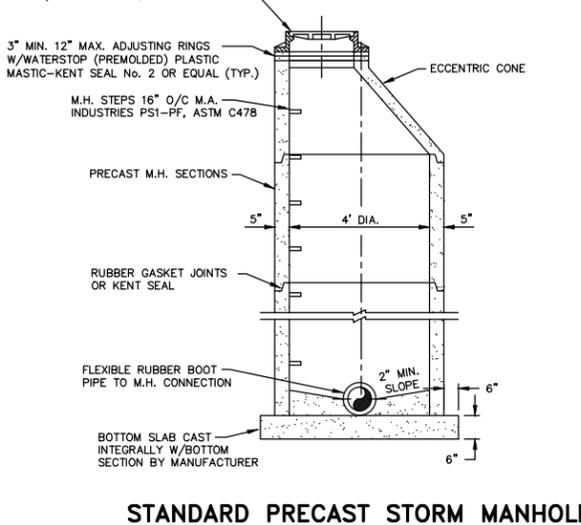
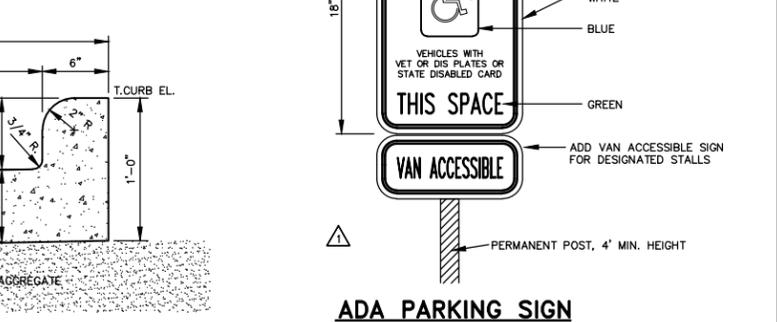
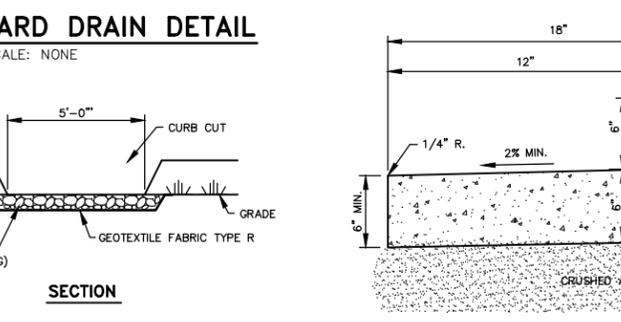
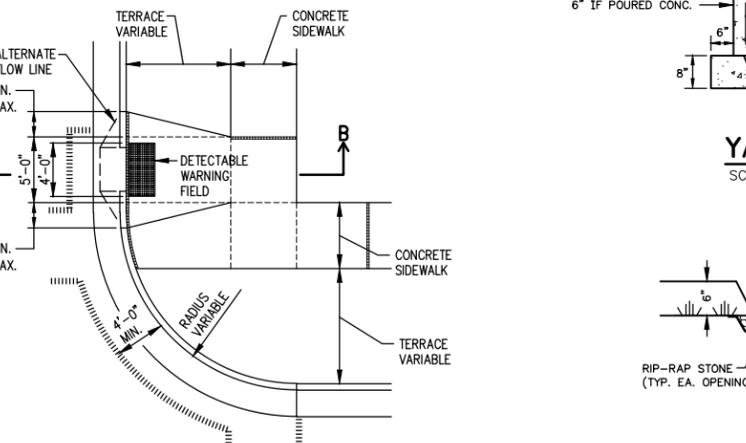
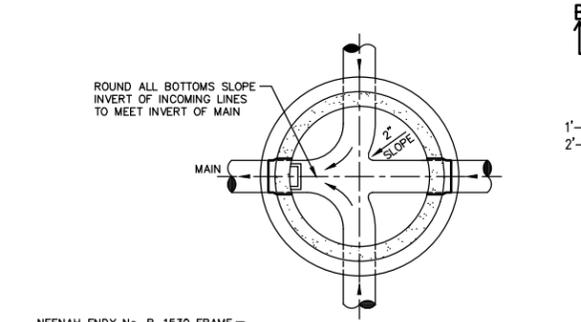
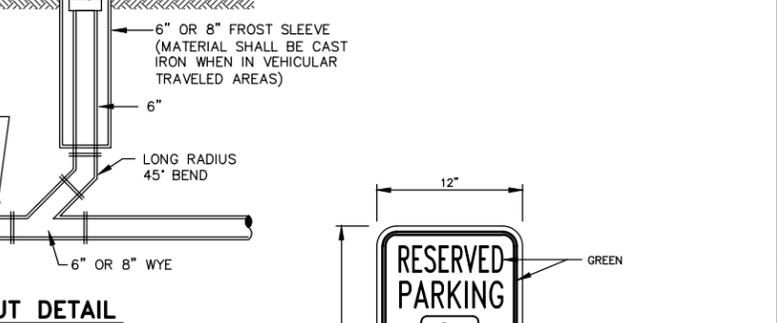
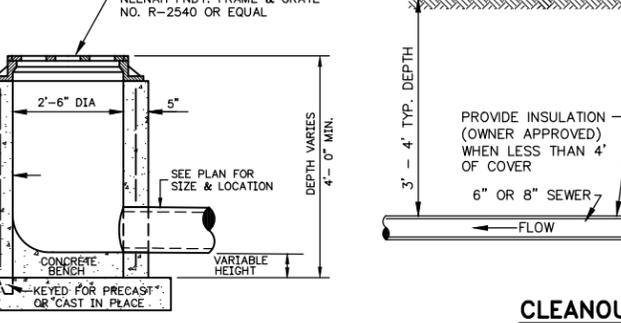
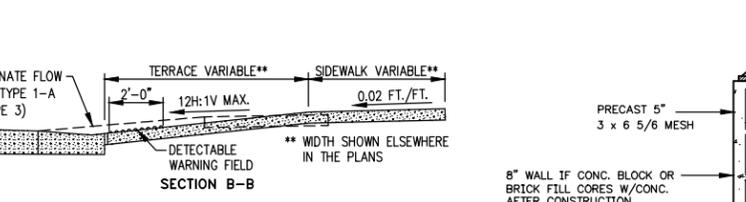
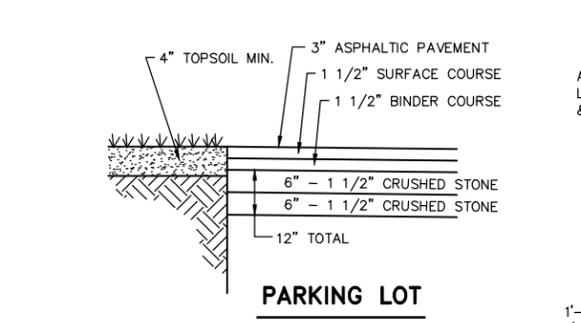
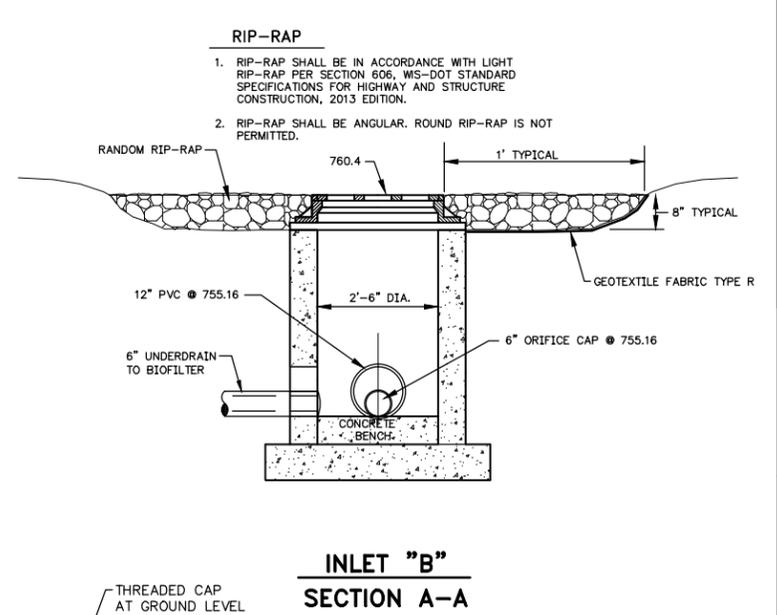
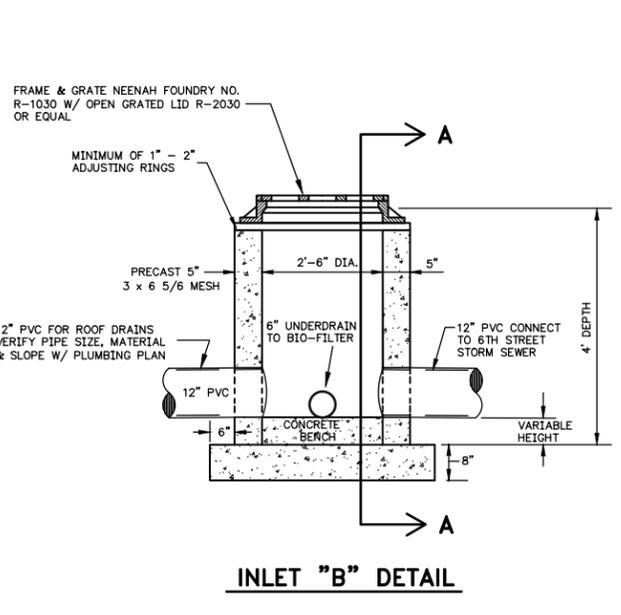
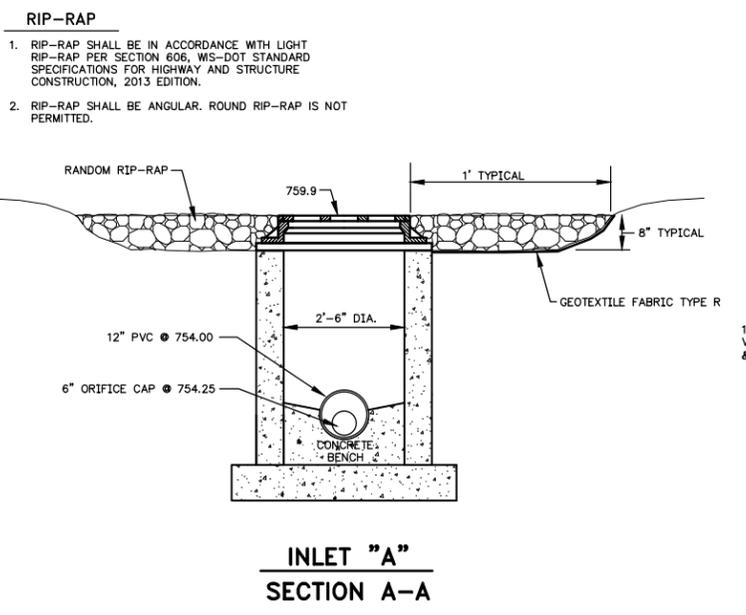
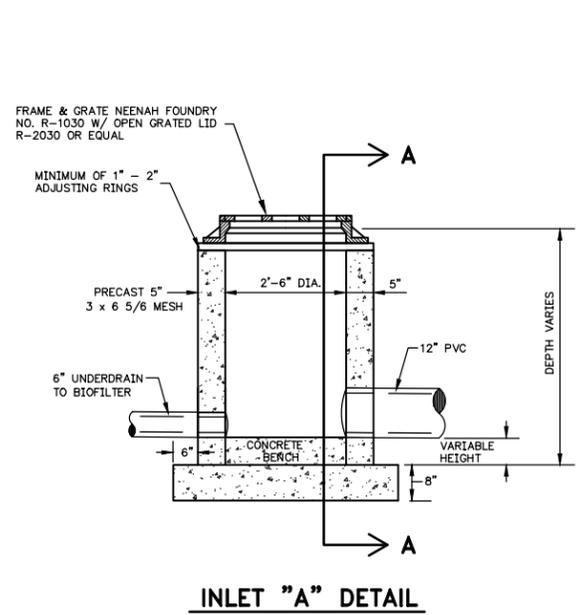
DESIGNED	DRAWN
JLS	KRH
PROJECT NO. M0032-940326	
DATE 10-01-2014	
SHEET NO. C3	

- NOTES:
- TRANSITION TO FULL CURBHEAD IN 5 FT.
 - INSTALL REJECT CURB & GUTTER
 - ROOF DRAINS SHALL BE DIRECTLY CONNECTED TO STORM SEWER AT INLET B

* CONTRACTOR TO VERIFY RIM ELEVATION AND PIPE SIZE PRIOR TO ORDERING STRUCTURE
 NOTE: EXISTING WATER SERVICE TO BE DEMOLISHED SEE SHEET C2

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khegner, W:\PROJECTS\00321940326\00Acad\C7 MISCELLANEOUS DETAILS.dwg, c7 miscellaneous details, Plot Date: 8/6/2014 7:14 AM, xrefs:none



RIP-RAP
 1. RIP-RAP SHALL BE IN ACCORDANCE WITH LIGHT RIP-RAP PER SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2013 EDITION.
 2. RIP-RAP SHALL BE ANGULAR. ROUND RIP-RAP IS NOT PERMITTED.

FRAME & GRATE NEENAH FOUNDRY NO. R-1030 W/ OPEN GRATED LID R-2030 OR EQUAL
 MINIMUM OF 1" - 2" ADJUSTING RINGS

RIP-RAP
 1. RIP-RAP SHALL BE IN ACCORDANCE WITH LIGHT RIP-RAP PER SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2013 EDITION.
 2. RIP-RAP SHALL BE ANGULAR. ROUND RIP-RAP IS NOT PERMITTED.

12" PVC FOR ROOF DRAINS VERIFY PIPE SIZE, MATERIAL & SLOPE W/ PLUMBING PLAN
 6" UNDERDRAIN TO BIO-FILTER
 12" PVC CONNECT TO 6TH STREET STORM SEWER

NEENAH FNDY. FRAME & GRATE NO. R-2540 OR EQUAL
 PRECAST 5" 3 x 6 5/6 MESH
 8" WALL IF CONC. BLOCK OR BRICK FILL CORES W/CONC. AFTER CONSTRUCTION
 6" IF POURED CONC.
 SEE PLAN FOR SIZE & LOCATION
 KEYED FOR PRECAST OR CAST IN PLACE

THREADED CAP AT GROUND LEVEL
 6" OR 8" FROST SLEEVE (MATERIAL SHALL BE CAST IRON WHEN IN VEHICULAR TRAVELED AREAS)
 6"
 LONG RADIUS 45° BEND
 6" OR 8" SEWER
 6" OR 8" WYE

SECTION
 SCALE: NONE

PLAN

RIP-RAP
 1. RIP-RAP SHALL BE LIGHT RIP RAP IN ACCORDANCE WITH SECTION 606, WIS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2013 EDITION.
 2. RIP-RAP SHALL BE ANGULAR. ROUND RIP-RAP IS NOT PERMITTED.

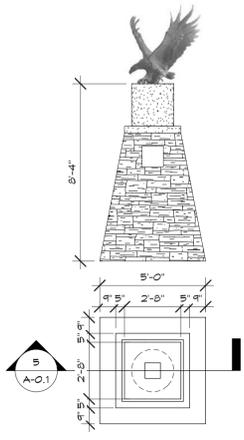
* NOTE CURB & GUTTER ALONG SIXTH STREET AND RACINE STREET SHALL BE 30" WIDE AND MATCH WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR CURB & GUTTER.

McMAHON
 1445 McMAHON DRIVE NEENAH, WI 54956
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
 Tel: (920) 751-4200 Fax: (920) 751-4284
 www.mcmahongrp.com

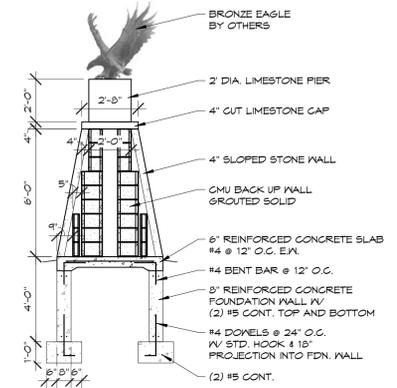
NO.	DATE	REVISION

**BOYS AND GIRLS CLUB
 CITY OF MENASHA
 MISCELLANEOUS DETAILS**

DESIGNED JLS	DRAWN KRH
PROJECT NO. M0032-940326	
DATE JULY 2014	
SHEET NO. C7	



4 THE ELEMENT
A-0.1 1/4" = 1'-0"



5 THE ELEMENT SECTION
A-0.1 1/4" = 1'-0"

GENERAL PROJECT NOTES:

PROJECT NAME: BOYS & GIRLS CLUB OF MENASHA
PROPERTY ADDRESS: 600 RACINE STREET, MENASHA, WISCONSIN

ZONING DESCRIPTION: GENERAL COMMERCIAL DISTRICT (G-1)
SITE AREA: 62,335 S.F. / 1.199 ACRES

AREA PERCENTAGE:

BUILDING AREA (FOOTPRINT):	25,454 S.F.	40.8%
IMPERVIOUS AREA - PAVEMENTS:	12,952 S.F.	20.7%
LANDSCAPE AREA:	23,929 S.F.	38.5%
TOTAL SITE AREA:	62,335 S.F.	100.0%

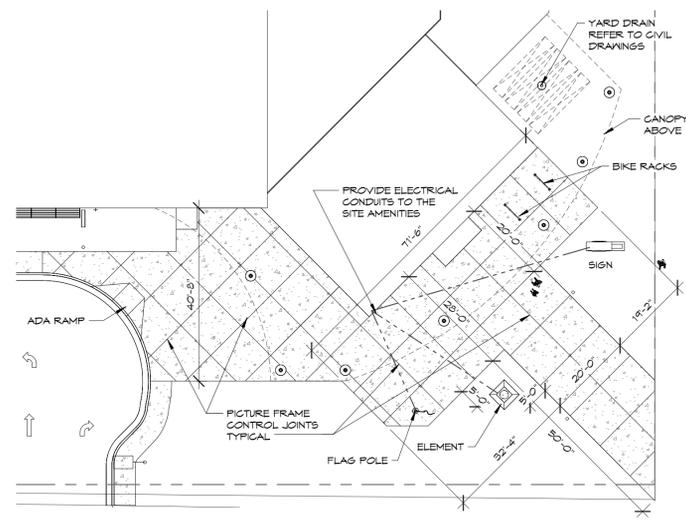
PARKING CALCULATIONS:

RECREATIONAL BUILDING OR COMMUNITY CENTER:

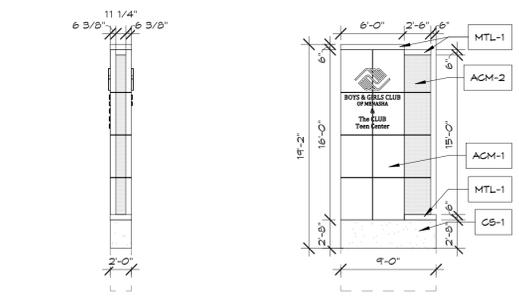
MINIMUM PARKING REQUIREMENTS:
 SPACES IN ADEQUATE NUMBER AS DETERMINED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT

	PROVIDED
STAFF/GENERAL PARKING	24
SHORT TERM PARKING	3
ACCESSIBLE PARKING	2
TOTAL PARKING PROVIDED =	29 STALLS

- GENERAL SITE PLAN NOTES:**
- GENERAL CONTRACTOR TO PROVIDE CONCRETE MECHANICAL EQUIPMENT PADS. COORDINATE SIZE & REIN. REQUIREMENTS WITH MECHANICAL & ELECTRICAL CONTRACTOR.
 - GENERAL CONTRACTOR TO PROVIDE SILT FENCE / EROSION CONTROL MEASURES PER CIVIL DRAWINGS AND LOCAL MUNICIPALITY REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 - PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB, DISTURBED BY CONSTRUCTION.
 - GENERAL CONTRACTOR TO ROUGH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR. ALL DRIVEWAY CUTS AND CURBING SHALL COMPLY WITH THE LOCAL MUNICIPALITY STANDARDS.
 - SEE LANDSCAPE PLAN SHEET L-0.1 FOR PLANTING INFORMATION.
 - HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS. COORDINATE PARKING LOT GRADING AND RAMPS WITH DOOR LOCATIONS.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
 - ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
 - ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNEL DURING FINAL LANDSCAPING.
 - DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE LOCAL MUNICIPALITY EROSION CONTROL INSPECTOR.
 - WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
 - IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION / LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN LINE 1% OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
 - EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
 - THE EXISTING GRASS STREET TERRACE WITHIN THE LOCAL MUNICIPALITY RIGHT OF WAY SHALL BE MAINTAINED AS BUFFER THROUGHOUT CONSTRUCTION. AT A MINIMUM, THE GRASS TERRACE SHALL BE RESTORED WITH TEMPORARY SEED (OATS / RYE) AND MULCHED WITHIN 10 DAYS OF THE COMPLETION OF ALL LATERAL INSTALLATIONS AND OTHER CONSTRUCTION ACTIVITY. IF THE TERRACE IS NOT TO BE RESTORED DURING FINAL LANDSCAPING, A PERMANENT SEED MIX SHALL BE UTILIZED.

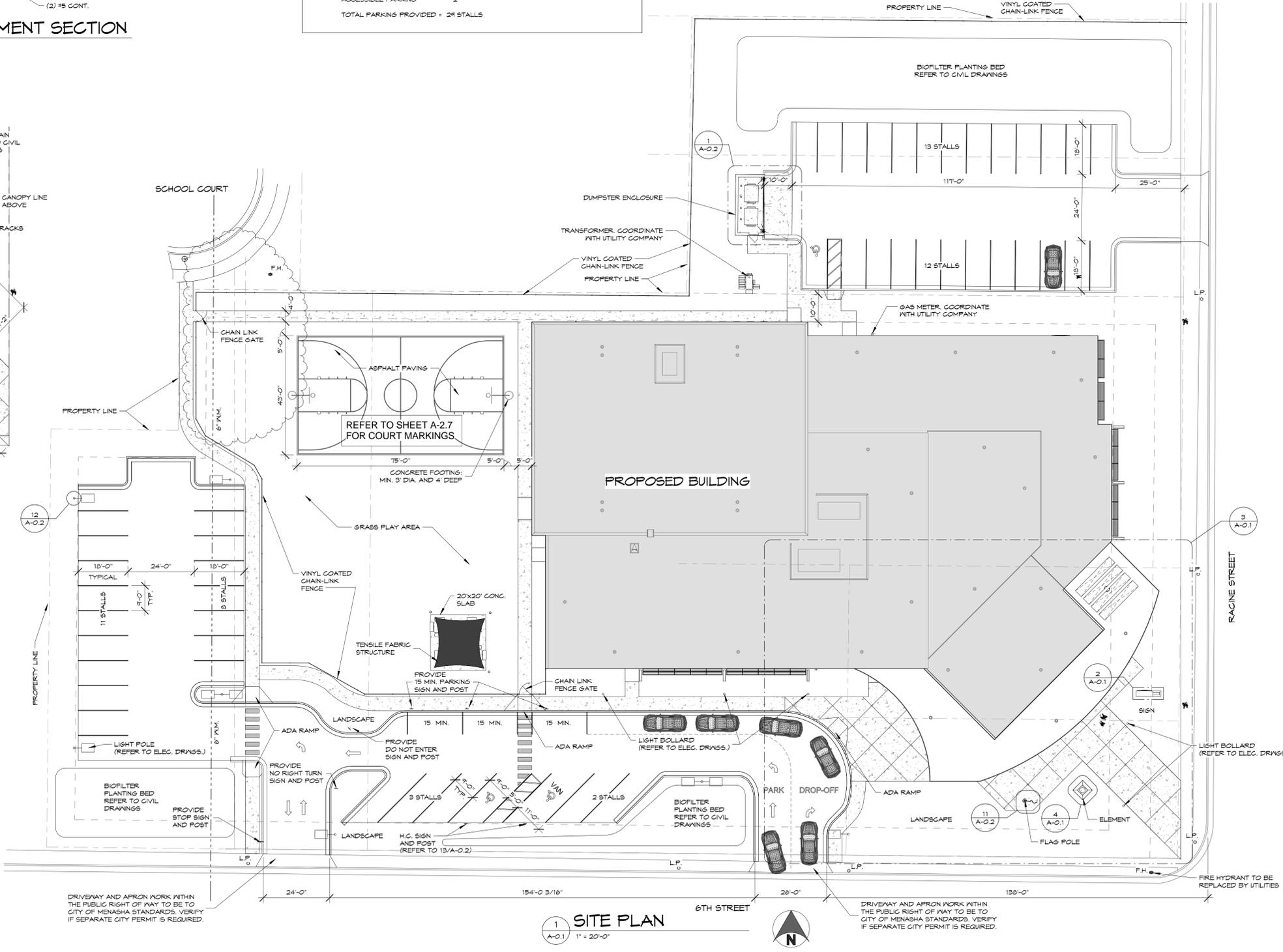


3 SIDEWALK LAYOUT
A-0.1 1" = 20'-0"



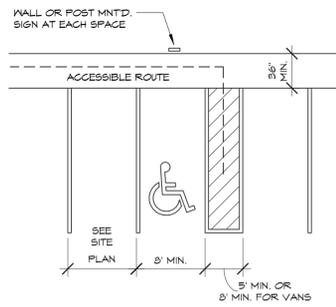
REFER TO SHEET A-4.1 FOR MATERIAL LEGEND

2 MONUMENT SIGN
A-0.1 1/8" = 1'-0"

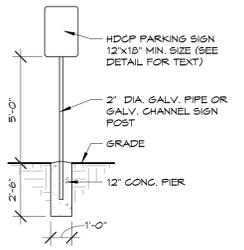


1 SITE PLAN
A-0.1 1" = 20'-0"

REFER TO SHEET L-0.1 & L-0.2 FOR LANDSCAPE REQUIREMENTS



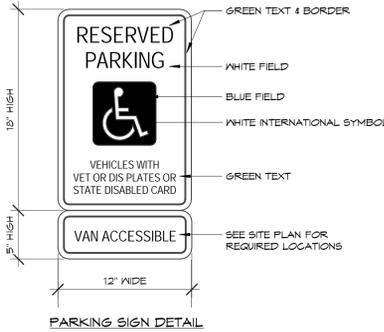
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE: TRANS #200.01



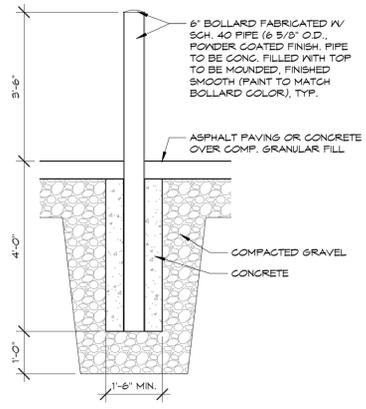
13 SIGN POST DETAIL

13 HC PARKING DETAILS

A-0.2 NOT TO SCALE

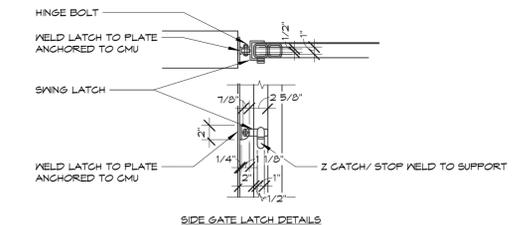


PARKING SIGN DETAIL

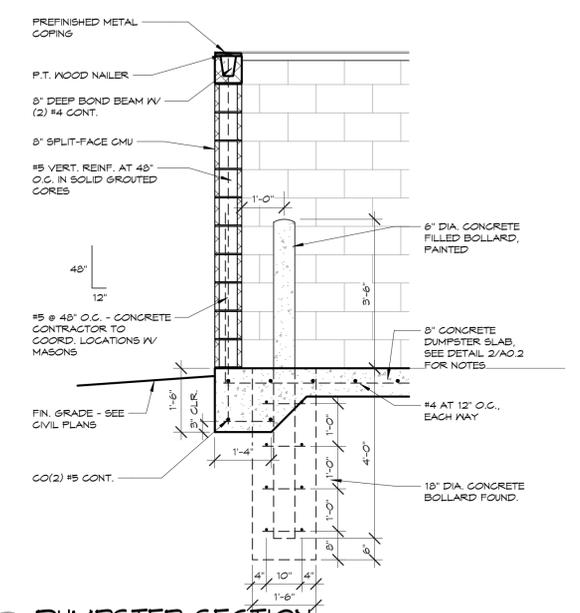


7 BOLLARD DETAIL

A-0.2 1/2" = 1'-0"

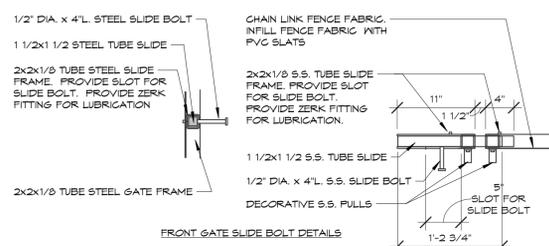


SIDE GATE LATCH DETAILS



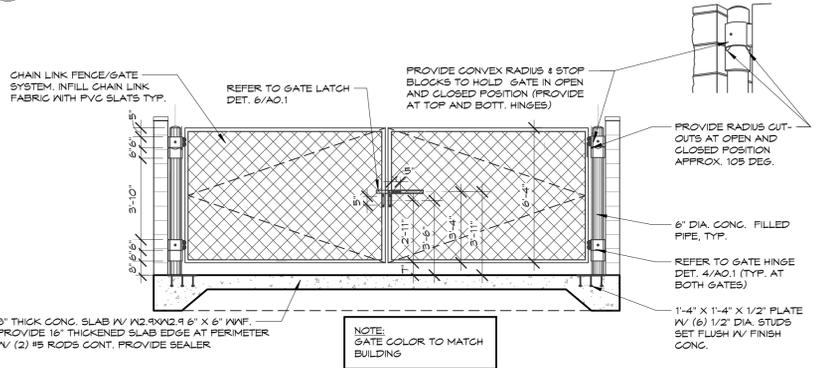
3 DUMPSTER SECTION

A-0.2 1/2" = 1'-0"



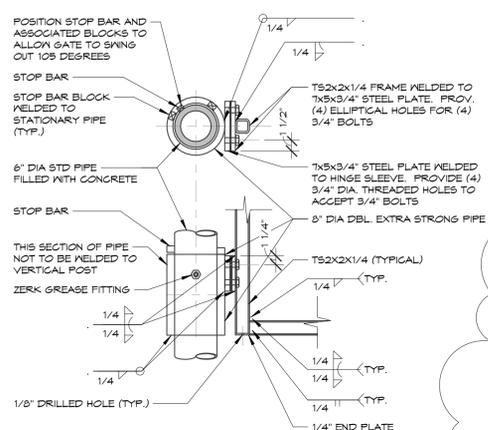
6 GATE LATCH DETAIL

A-0.2 1" = 1'-0"



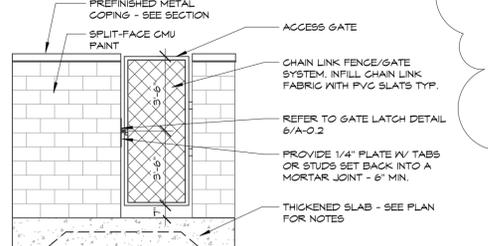
2 DUMPSTER - FRONT ELEVATION

A-0.2 1/4" = 1'-0"



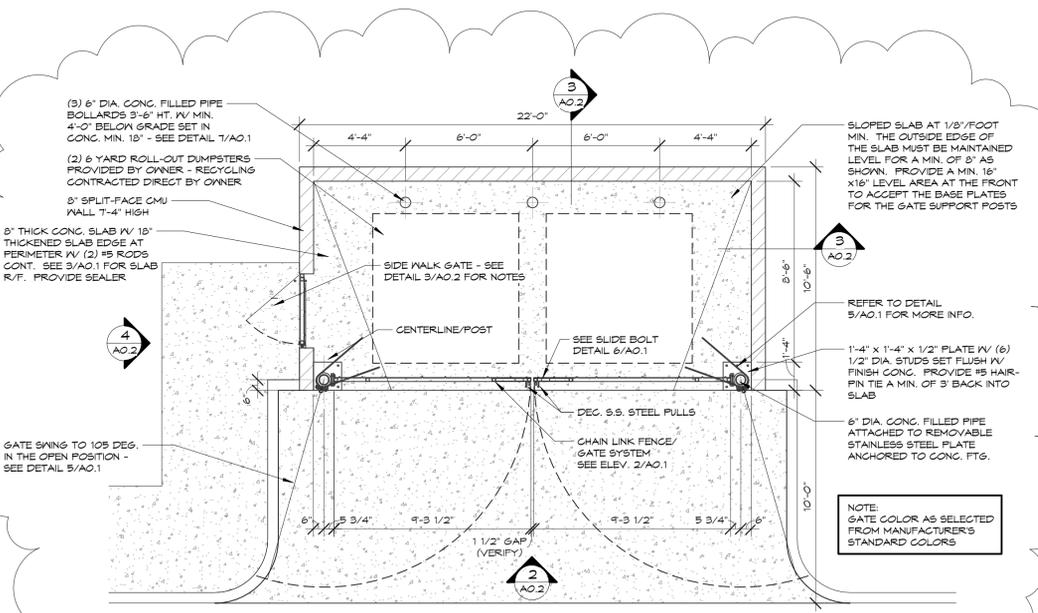
5 GATE HINGE DETAIL

A-0.2 1" = 1'-0"



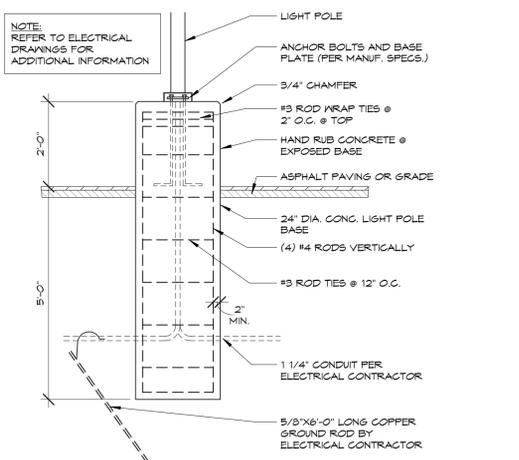
4 DUMPSTER - SIDE ELEVATION

A-0.2 1/4" = 1'-0"



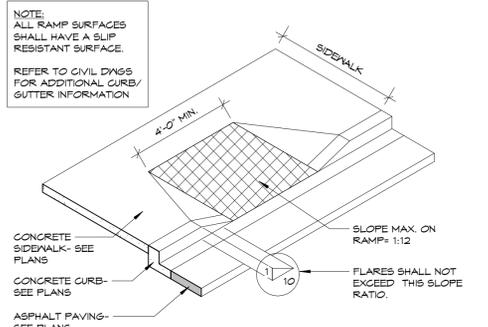
1 DUMPSTER PLAN WITH SIDE GATE

A-0.2 1/4" = 1'-0"



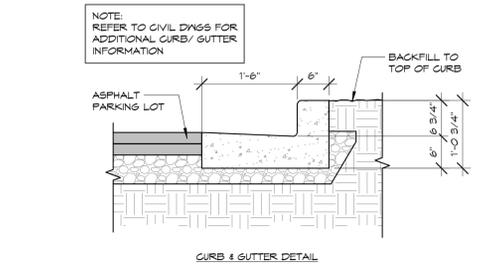
12 LIGHT POLE BASE DETAIL

A-0.2 1/2" = 1'-0"



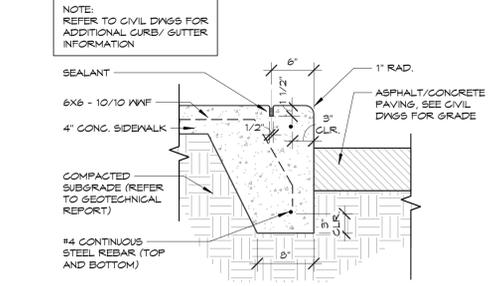
10 CURB RAMP DETAIL

A-0.2 1/4" = 1'-0"



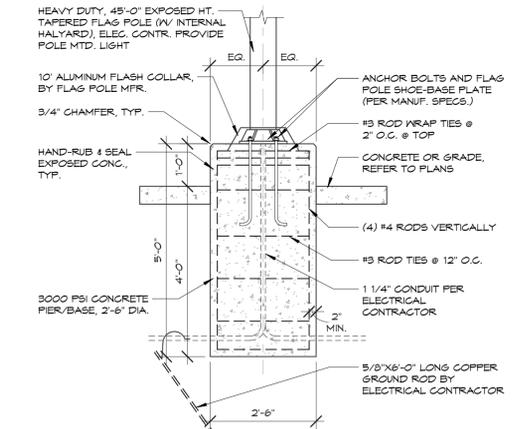
9 CURB & GUTTER DETAIL

A-0.2 3/4" = 1'-0"



8 CURB & SIDEWALK DETAIL

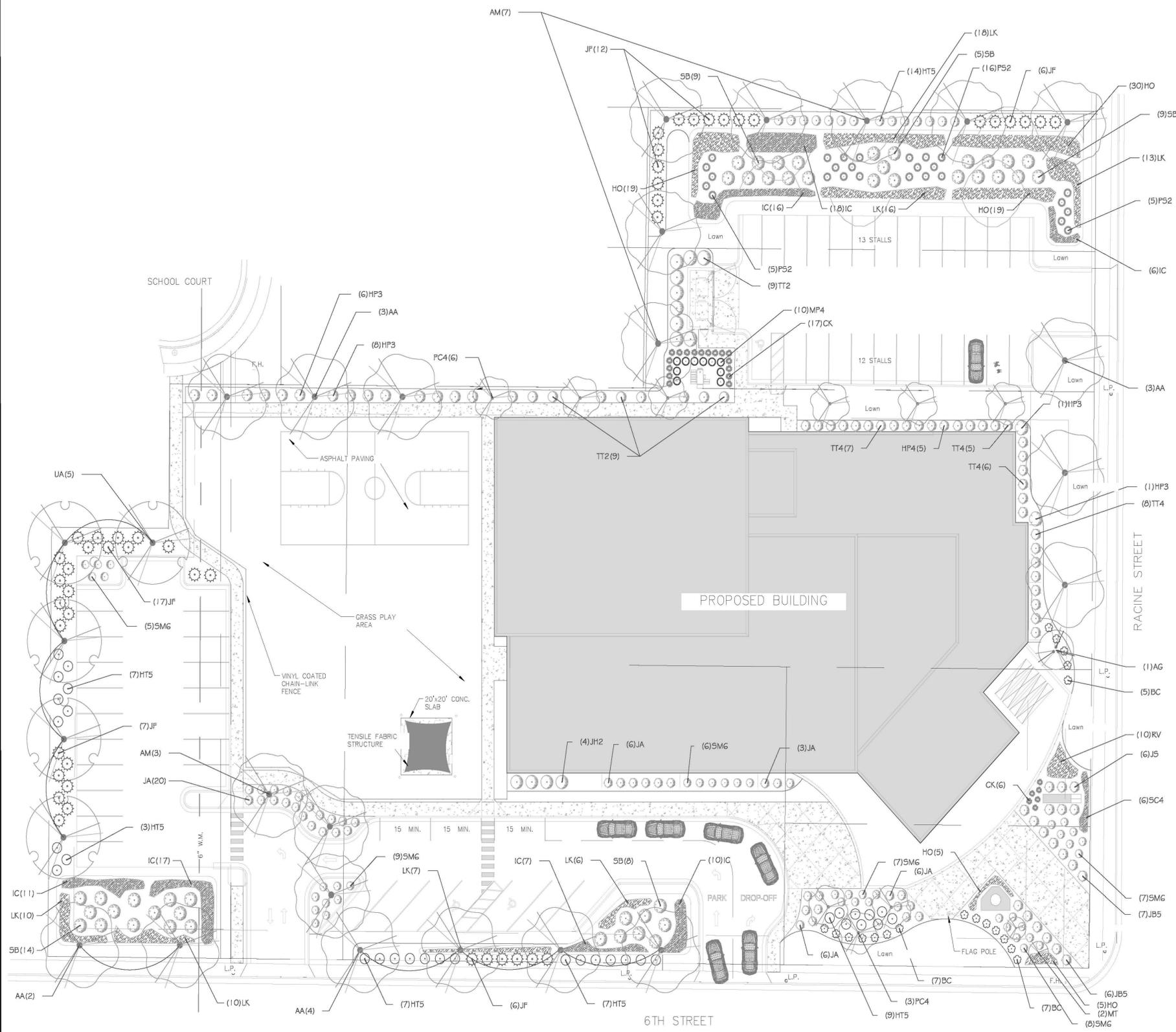
A-0.2 1" = 1'-0"



11 FLAG POLE BASE DET.

A-0.2 1/2" = 1'-0"

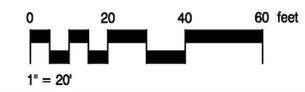
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PLANT SCHEDULE

TREES	COMMON NAME	BOTANICAL NAME	SIZE	QTY
AA	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" b&b	12
AM	State Street Maple	Acer nyabaei 'Morton' TM	2" b&b	10
AG	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	5-6' b&b	1
MT	Tina Crabapple	Malus x 'Tina'	2" b&b	2
PC4	Cleveland Select Pear	Pyrus calleryana 'Cleveland Select'	2" b&b	9
UA	Accolade Elm	Ulmus x 'Accolade'	2" b&b	5
SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE	QTY
BC	Concord Barberry	Berberis thunbergii 'Concorde'	3 gal	19
HP4	Twist-n-Shout Hydrangea	Hydrangea macrophylla 'Pillim-I'	5 gal	5
HP3	Pinky Winky Hydrangea	Hydrangea paniculata 'Pinky Winky'	3 gal	16
HT5	Ticked Pink Hydrangea	Hydrangea paniculata 'Tickled Pink'	5 gal	47
JH2	Hetzl Column Juniper	Juniperus chinensis 'Hetzl Columnaris'	5 gal	4
JF	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 gal	48
JA	Andorra Compact Juniper	Juniperus horizontalis 'Compacta'	3 gal	41
JB5	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	5 gal	13
JS	Savin Juniper	Juniperus sabina 'Savin'	5 gal	6
SB	Black Lace Elderberry	Sambucus nigra 'Black Lace'	2 gal	45
SM6	Magic Carpet Spiraea	Spiraea japonica 'Magic Carpet'	3 gal	42
TT4	Tauton Yew	Taxus x media 'Tautoni'	3 gal	26
TT2	Techny Arborvitae	Thuja occidentalis 'Techny'	5-6' b&b	18
GRASSES	COMMON NAME	BOTANICAL NAME	SIZE	QTY
CK	Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	23
MP4	Flame Grass	Miscanthus sinensis 'Purpureascens'	1 gal	10
PS2	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 gal	26
PERENNIALS	COMMON NAME	BOTANICAL NAME	SIZE	QTY
HO	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	1 gal	78
IC	Caesar's Brother Iris	Iris sibirica 'Caesar's Brother'	1 gal	85
LK	Kobold Liatris	Liatris spicata 'Kobold'	1 gal	80
RV	Little Suzy Black-Eyed Susan	Rudbeckia fulgida 'Viette's Little Suzy'	1 gal	10
SC4	Cardonna Salvia	Salvia nemorosa 'Cardonna'	1 gal	6

NOTES:
 -All planting beds to be separated from lawn by Commercial Grade Cobra Edging
 -All planting beds to have shredded hardwood mulch
 -Rain Gardens to be covered with hardwood mulch



Schmalz
 Custom Landscaping
 and Garden Center

LANDSCAPE ARCHITECTURE
 DEVELOPMENT
 CONSTRUCTION
 AWARD WINNING DESIGN
 AND INSTALLATION

W2484 CTY RD KK
 APPLETON, WI 54915-9464
 PHONE 920-733-8223
 FAX 920-733-3262
 WWW.SCHMALZLANDSCAPING.COM

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NORTH

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A NEW BUILDING FOR:
BOYS & GIRLS CLUB OF MENASHA
 MENASHA, WISCONSIN

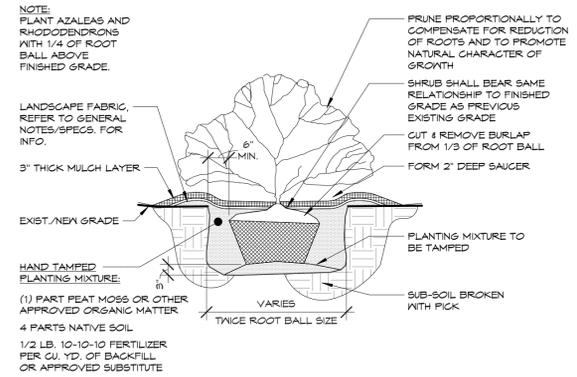
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 rev.: 03/10/15

DATE: 7/16/2014
 REVISED: 2/4/2015
 PHONE NO. 000-000-0000
 EMAIL: emailaddress@ere.com
 SCALE: 1" = 20'-0"
 DRAWN BY: PCV
 SHEET TITLE: Landscape Plan
 SHEET NO. L-1
 JOB # FILE NO.

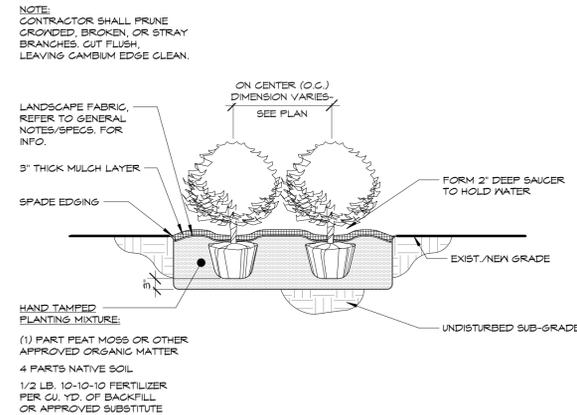
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LANDSCAPE PLAN GENERAL NOTES:

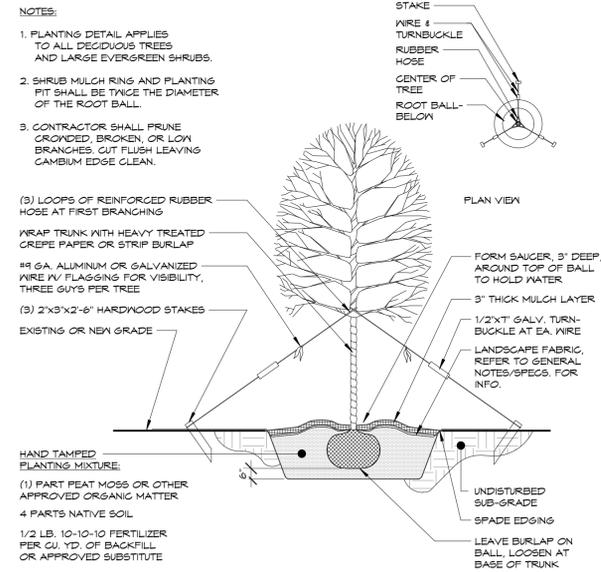
1. ALL PLANT MATERIAL SHALL BE A QUALITY CONSISTENT WITH STANDARDS OF AMERICAN ASSOCIATION OF NURSERYMEN (ANSI Z60.1).
2. ALL AREAS THAT ARE LANDSCAPED WITH BOULDERS, ROCK, AND/OR MULCH, SHALL HAVE A 3 OZ. WEED BARRIER FABRIC INSTALLED PRIOR TO FINISH LANDSCAPING MATERIAL BEING INSTALLED. REFER TO PLANS & SCHEDULE FOR FINISH LANDSCAPE MATERIAL TYPE.
3. ALL LANDSCAPE SHRUB/PLANT BEDS SHALL BE EDGED WITH COMMERCIAL GRADE PLASTIC EDGING SYSTEM, TYPICAL.
4. ALL LAWN AREAS TO BE SEEDED & MULCHED AS REQUIRED TO MINIMIZE SEED WASH-OUT. PROVIDE TOPSOIL AND FINISH GRADING AS REQUIRED.
5. LANDSCAPING OF SITE AS SHOWN. FINAL SPECIES OF PLANTINGS TO BE APPROVED BY ARCHITECT/MUNICIPALITY IF REVISED BY LANDSCAPER.



3 SHRUB INSTALLATION- BALL & BURLAP
L-0.2 1/2" = 1'-0"



2 SHRUB INSTALLATION- CONTAINER
L-0.2 1/2" = 1'-0"



1 TREE INSTALLATION DETAIL
L-0.2 1/4" = 1'-0"

GENERAL NOTES:

1. THE LANDSCAPE REQUIREMENTS OF GOVERNMENTAL AGENCIES, WHEN IN CONFLICT WITH INFORMATION SHOWN ON THESE PLANS, SHALL TAKE PRECEDENCE OVER ANY AND ALL SPECIFICATIONS AND GUIDELINES SET FORTH HEREIN.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ALL DAMAGES MADE TO UNDERGROUND UTILITIES.
3. ALL AREAS NOT COVERED BY BUILDING, PAVEMENTS OR OTHER PERMANENT CONSTRUCTION SHALL BE PLANTED, SEEDED AND/OR MULCHED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

PLANT MATERIALS:

1. PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
2. ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.
3. PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.
4. LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
5. PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.
6. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

LAWN INSTALLATION:

1. LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".
2. LOCALLY-GROWN SOD SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNSUCCESSFUL OR WILL BE UNSUCCESSFUL DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOD SHALL BE STRONGLY ROOTED, FREE OF KEEPS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.
3. SOD SHALL BE TIGHTLY-FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STAGGERED WITH ADJACENT ROWS. AFTER INSTALLATION, SOD SHALL BE THOROUGHLY WATERED. ON SLOPES STEEPER THAN 2:1, SOD SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOD'S SOIL LAYER.
4. PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NON-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED TYPE OR SEED MIX WITH BEST RECORD OF SUCCESS IN LOCALITY OF PROJECT.
5. APPLY SEED AT THE APPROPRIATE RATE FOR ESTABLISHING A NEW LAWN. SOW SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.
6. PROTECT ALL SEEDED AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED-FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDED AREA. MULCH SHALL BE HELD IN PLACE WITH AN APPROVED PRODUCT FROM THE "EROSION CONTROL PRODUCT ACCEPTABILITY LIST, OR GRIMPING OF THE STRAW IN PLACE PER STANDARD 1095.
7. TREATMENTS SUCH AS JUTE MESH, EXCELSEOR MATTING, OR FIBERGLASS ROVING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING OPERATION.

INSTALLATION OF PLANT MATERIALS:

1. INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.
2. ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
3. ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC MULCH SUCH AS FINE STRAW, SHREDDED HARDWOOD, OR LICORICE ROOT. NON-ORGANIC MULCHES SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.
4. TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
5. APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 0-0-0 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

MAINTENANCE & WARRANTY:

1. MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE FOLLOWING STATED PERIODS:
PLANT MATERIALS: 90 DAYS AFTER SUBSTANTIAL COMPLETION
LAWN AREAS: 60 DAYS AFTER SUBSTANTIAL COMPLETION
2. AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND REINSPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.
3. A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEEDED AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS:
TREES, SHRUBS, AND GROUND COVERS: ONE YEAR AFTER FINAL ACCEPTANCE
SOD AND SEEDED AREAS: 90 DAYS AFTER FINAL ACCEPTANCE
PERENNIALS: 90 DAYS AFTER FINAL ACCEPTANCE
4. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING. OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
5. THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING AB-NORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

SEEDBED PREPARATION:

1. ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND FLOVED TO A DEPTH OF 8 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED. (NOTE: LIME SHALL BE APPLIED BEFORE PLOWING OPERATION.)
2. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
3. APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS:
TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 10-24-10)
- RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET
75 LBS. PER 1000 SQUARE FEET
LIMESTONE - (LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)
4. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING. IF SOIL IS DRY, ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.



date: 03-10-2015

job: 14-009

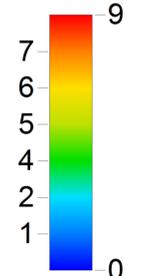
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rev.:

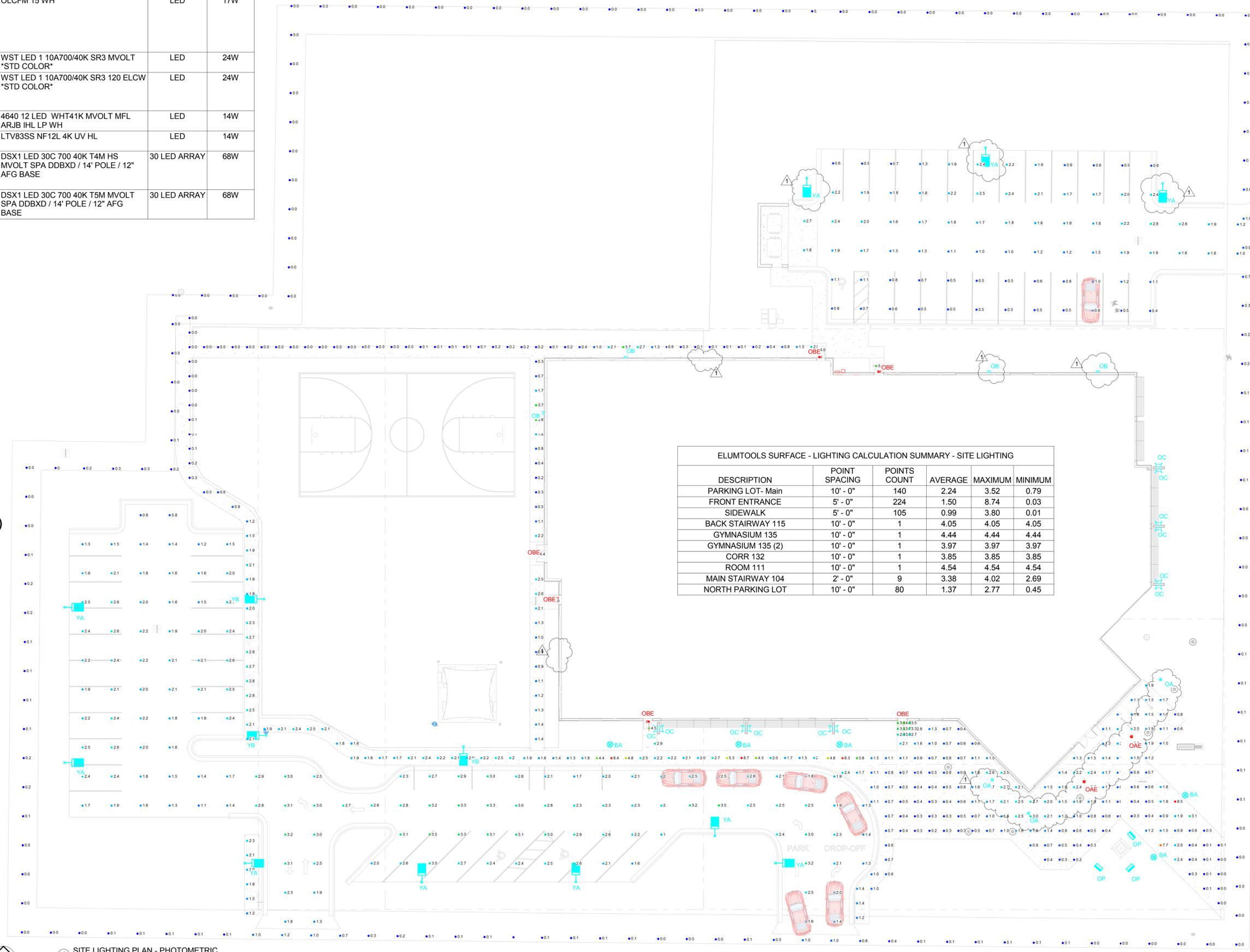
SITE LIGHTING FIXTURE SCHEDULE						
QTY	TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTAGE
5	BA	42" BOLLARD	CREE	PWY-EDG-5M-P4-02-D-UL-BZ-350-WB	LED	22W
3	OA	SURFACE MOUNTED EXTERIOR UNDERCANOPY LIGHT	LITHONIA LIGHTING	OLCFM 15 WH	LED	17W
2	OAE	SURFACE MOUNTED EXTERIOR UNDERCANOPY LIGHT WITH EMERGENCY BACKUP	LITHONIA LIGHTING	OLCFM 15 WH	LED	17W
4	OB	EXTERIOR WALL PACK FULL CUTOFF	LITHONIA LIGHTING	WST LED 1 10A700/40K SR3 MVOLT *STD COLOR*	LED	24W
6	OBE	EXTERIOR WALL PACK FULL CUTOFF WITH EMERGENCY BACKUP	LITHONIA LIGHTING	WST LED 1 10A700/40K SR3 120 ELCW *STD COLOR*	LED	24W
12	OC	LED ACCENT LIGHT	HYDREL	4640 12 LED WHT41K MVOLT MFL ARJB IHL LP WH	LED	14W
1	OP	LED INGRADE ACCENT LIGHT	KIM LIGHTING	LTV83SS NF12L 4K UV HL	LED	14W
10	YA	SINGLE LUMINAIRE TYPE IV MED HS SHIELD POLE MTD. 15' MTG. HT.	LITHONIA LIGHTING	DSX1 LED 30C 700 40K T4M HS MVOLT SPA DDBXD / 14' POLE / 12" AFG BASE	30 LED ARRAY	68W
3	YB	SINGLE LUMINAIRE TYPE V MED POLE MTD. 15' MTG. HT.	LITHONIA LIGHTING	DSX1 LED 30C 700 40K T5M MVOLT SPA DDBXD / 14' POLE / 12" AFG BASE	30 LED ARRAY	68W

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ElumTools Analysis (fc)



Illuminance



DESCRIPTION	POINT SPACING	POINTS COUNT	AVERAGE	MAXIMUM	MINIMUM
PARKING LOT- Main	10' - 0"	140	2.24	3.52	0.79
FRONT ENTRANCE	5' - 0"	224	1.50	8.74	0.03
SIDEWALK	5' - 0"	105	0.99	3.80	0.01
BACK STAIRWAY 115	10' - 0"	1	4.05	4.05	4.05
GYMNASIUM 135	10' - 0"	1	4.44	4.44	4.44
GYMNASIUM 135 (2)	10' - 0"	1	3.97	3.97	3.97
CORR 132	10' - 0"	1	3.85	3.85	3.85
ROOM 111	10' - 0"	1	4.54	4.54	4.54
MAIN STAIRWAY 104	2' - 0"	9	3.38	4.02	2.69
NORTH PARKING LOT	10' - 0"	80	1.37	2.77	0.45

1 SITE LIGHTING PLAN - PHOTOMETRIC
1/16" = 1'-0"

2/10/2015 9:46:02 AM

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Neenah, Wisconsin 54956
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www.griesarchitectural.com

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A New Building For:
Boys & Girls Club of Menasha
600 Racine Street Menasha, WI

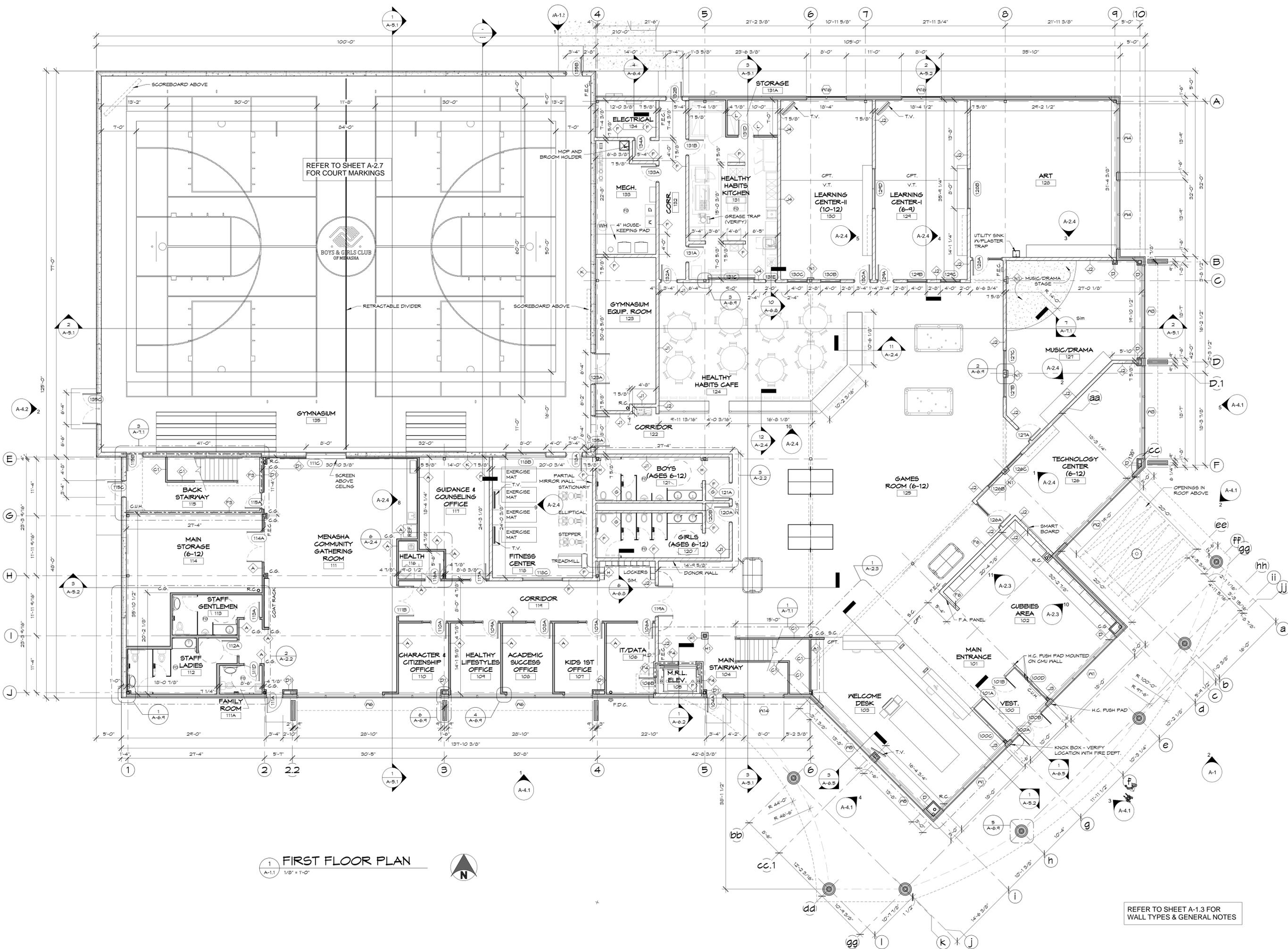
FAITH TECHNOLOGIES
ELECTRICAL CONTRACTOR
2882 American Drive, P.O. Box 627
Appleton, WI 54912-0627
(920) 225-6500 office
www.faithtechnologies.com

date: 10/01/2014
job: 1412007
d. by: MVB/NEK
rev.:

ES101P

Z:\2014\14-009 Boys and Girls Club- Menasha\REV\14-009 Boys and Girls Club.rvt

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REFER TO SHEET A-2.7 FOR COURT MARKINGS

1 FIRST FLOOR PLAN

1 A-1.1 1/8" = 1'-0"



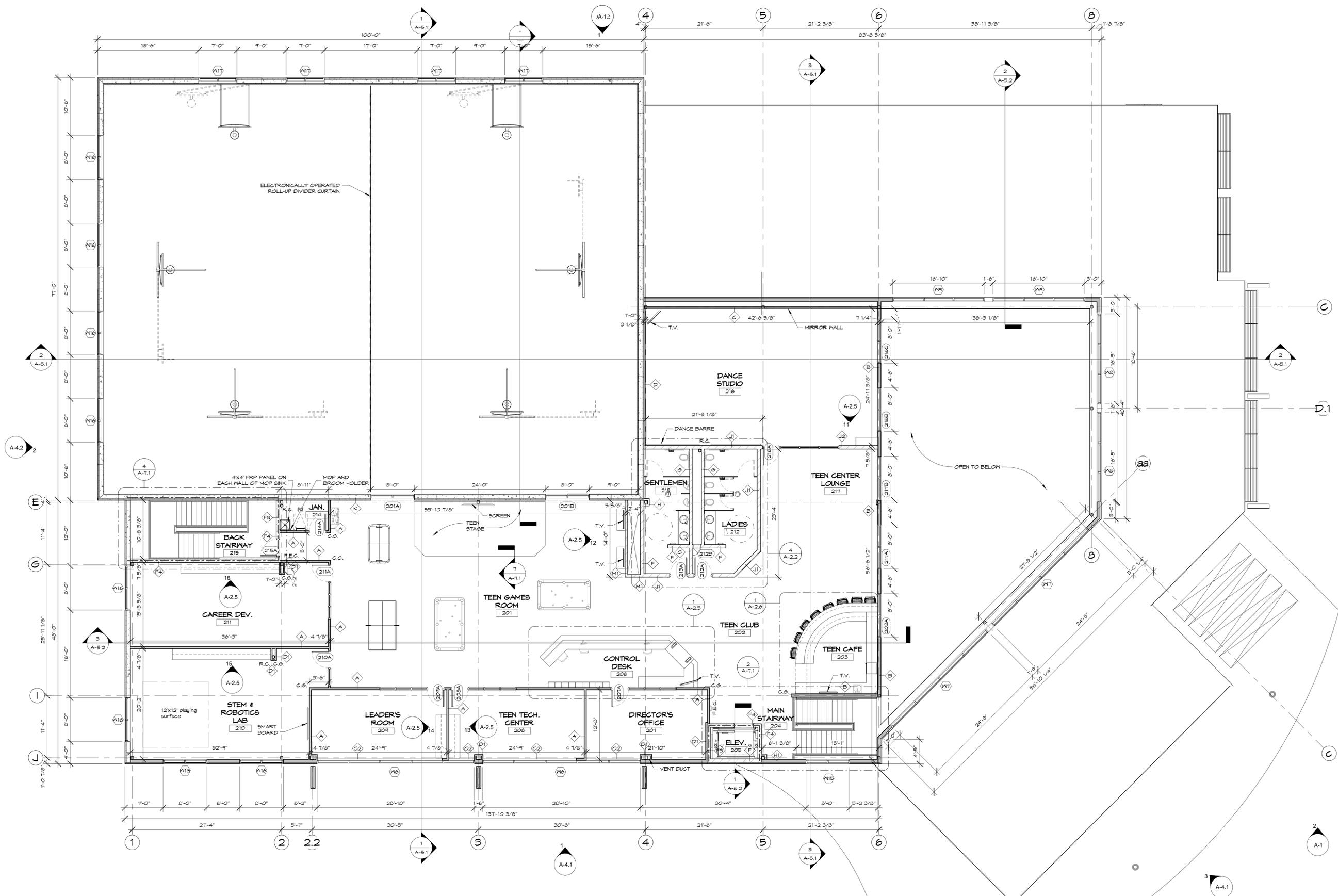
REFER TO SHEET A-1.3 FOR WALL TYPES & GENERAL NOTES

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A NEW BUILDING FOR:
BOYS & GIRLS CLUB OF MENASHA
 MENASHA, WISCONSIN

date: 03-10-2015
 job: 14-009
 d. by: SS, SMB, M.B, LCF
 rev.: 10-09-2014 ADD #1 STATE REVIEW

A-1.1



1
A-1.2
1/8" = 1'-0"

SECOND FLOOR PLAN

N

REFER TO SHEET A-1.3 FOR WALL TYPES & GENERAL NOTES

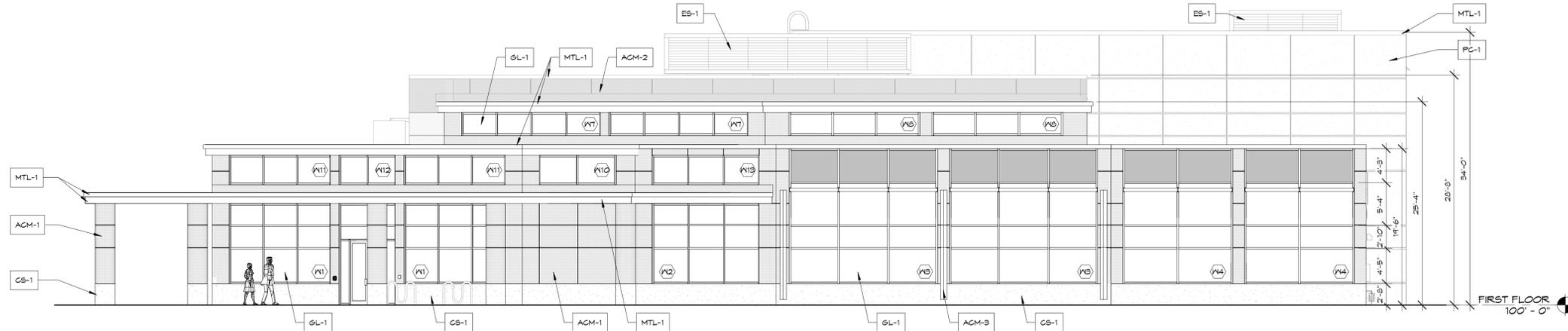
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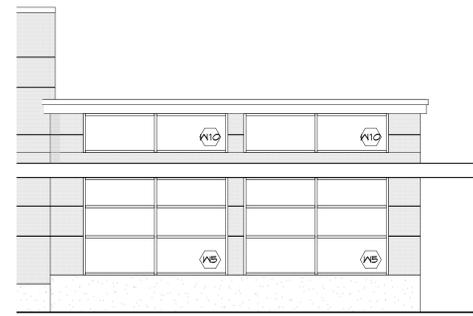
A NEW BUILDING FOR:
BOYS & GIRLS CLUB OF MENASHA
 MENASHA, WISCONSIN

date: 03-10-2015
 job: 14-009
 d. by: SS, SMB, MJB, LCF
 rev: ---

A-1.2



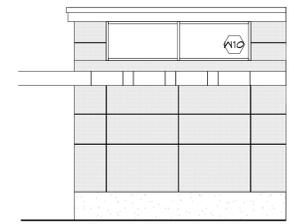
5 EAST ELEVATION
A-4.1 1/8" = 1'-0"



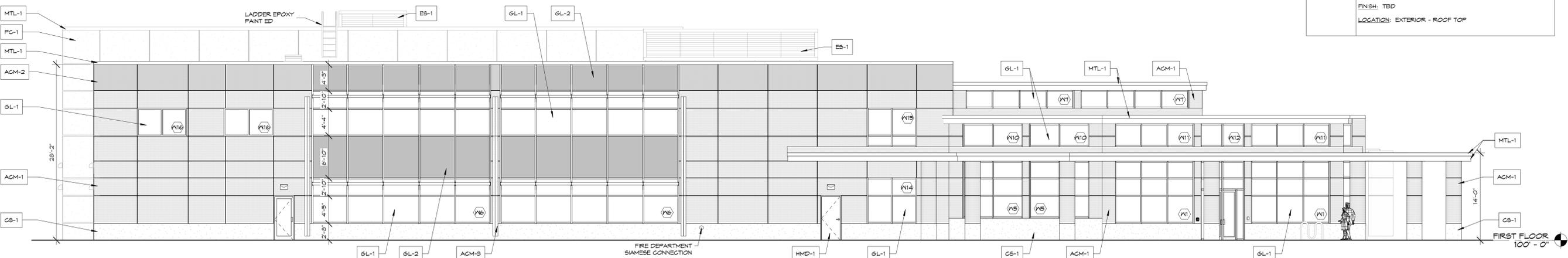
4 SOUTHWEST ENTRY
A-4.1 1/8" = 1'-0"



3 FRONT ENTRY
A-4.1 1/8" = 1'-0"



2 NORTHEAST ENTRY
A-4.1 1/8" = 1'-0"



1 SOUTH ELEVATION
A-4.1 1/8" = 1'-0"

NOTE:
PREP EXPOSED CONCRETE AND APPLY CEMENTITIOUS COATING ON ALL EXPOSED CONCRETE WALLS.

CURTAIN WALL/STOREFRONT NOTE:
PROVIDE PREFINISHED ALUMINUM SLP HEAD TO MATCH ALUMINUM STOREFRONT, CURTAIN WALL SYSTEM.
PROVIDE PREFINISHED EXTRUDED ALUMINUM-THERMALLY BROKEN SILL FLASHING WITH END DAMS. INSTALL WITH A POSITIVE SLOPE AWAY FROM INTERIOR AND SET IN SEALANT AND INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
PROVIDE ALL SHIMS, SEALANT & BACKER ROD PER MANUFACTURER'S SPECIFICATIONS.

KEY NOTE	MATERIAL SUMMARY
ACM-1	ALUMINUM COMPOSITE PANEL: MANUFACTURER: ALCOA OR EQUAL STYLE: 4MM THICK BONDED METAL PANEL W/ NON RADIUS 90° BEND. RAIN-SCREEN TYPE JOINTS: TO BE 1/2" TESTED DRY SYSTEM WITH EXTRUSIONS TO MATCH PANELS (RAIN SCREEN SYSTEM) COLOR: PURE WHITE LOCATION: EXTERIOR
ACM-2	ALUMINUM COMPOSITE PANEL: MANUFACTURER: ALCOA OR EQUAL STYLE: 4MM THICK BONDED METAL PANEL W/ NON RADIUS 90° BEND. RAIN-SCREEN TYPE JOINTS: TO BE 1/2" TESTED DRY SYSTEM WITH EXTRUSIONS TO MATCH PANELS (RAIN SCREEN SYSTEM) COLOR: BRIGHT SILVER METALLIC LOCATION: EXTERIOR
ACM-3	ALUMINUM COMPOSITE PANEL: MANUFACTURER: ALCOA OR EQUAL STYLE: 4MM THICK BONDED METAL PANEL W/ NON RADIUS 90° BEND. RAIN-SCREEN TYPE JOINTS: TO BE 1/2" TESTED DRY SYSTEM WITH EXTRUSIONS TO MATCH PANELS (RAIN SCREEN SYSTEM) COLOR: YELLOW LOCATION: EXTERIOR
CS-1	CAST STONE PANEL: MANUFACTURER: TBD COLOR: WHITE LOCATION: EXTERIOR
GL-1	EXTERIOR CURTAIN WALL/STOREFRONT: STYLE: 1" DOUBLE GLAZED, TEMPERED, PPG SOLARBAN 60, SOLAR BLUE. PROVIDE PREFINISHED EXTRUDED ALUMINUM - THERMALLY BROKEN SILL FLASHING WITH END DAMS, ON SHIM COLOR: CLEAR ANODIZED ALUMINUM LOCATION: EXTERIOR GLAZING LOCATIONS NOTE: REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION
GL-2	EXTERIOR CURTAIN WALL/STOREFRONT: STYLE: 1" DOUBLE GLAZED, TEMPERED, SPANDREL GLASS. PROVIDE PREFINISHED EXTRUDED ALUMINUM - THERMALLY BROKEN SILL FLASHING WITH END DAMS, ON SHIM COLOR: CLEAR ANODIZED ALUMINUM LOCATION: EXTERIOR GLAZING LOCATIONS NOTE: REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION
HMD-1	INSULATED HOLLOW METAL DOOR COLOR: PAINTED TO MATCH ADJACENT EXTERIOR WALL COLOR NOTES: PROVIDE INSULATED VISION GLASS AS INDICATED. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
MTL-1	FORMED METAL COPING: MANUFACTURER: PAC-CLAD OR UNI-CLAD STYLE: PREFINISHED METAL COPING COLORS: TO MATCH ADJACENT WALL LOCATION: PARAPET CAP
PC-1	INSULATED PRECAST CONCRETE PANEL: MANUFACTURER: SPANCRETE OR EQUAL FINISH: WHITE CONCRETE WITH SANDBLAST TEXTURE LOCATION: EXTERIOR ANTI-GRAFFITI SEALER FROM GRADE TO 8'
ES-1	EQUIPMENT SCREEN: MANUFACTURER: ENVISOR 2 OR EQUAL FINISH: TBD LOCATION: EXTERIOR - ROOF TOP

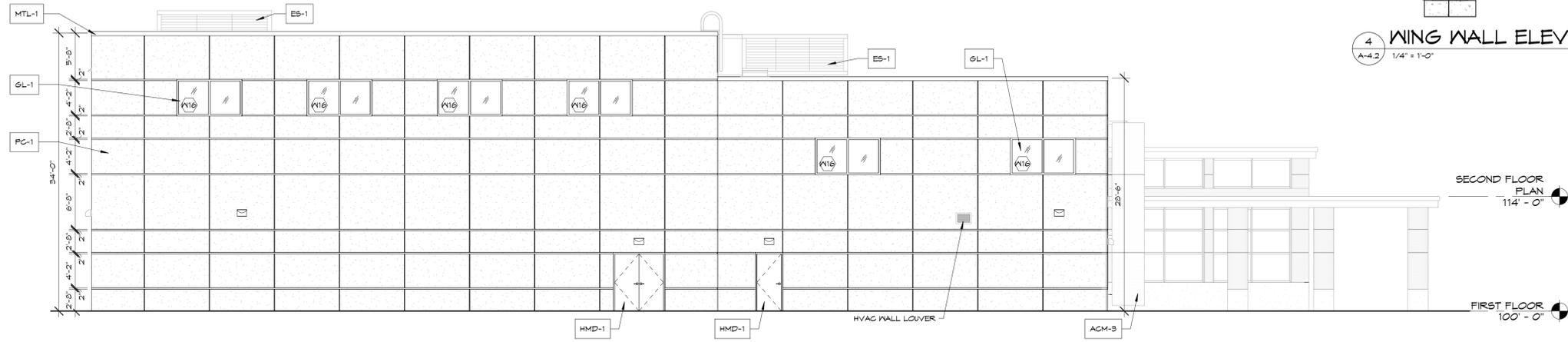
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A NEW BUILDING FOR:
BOYS & GIRLS CLUB OF MENASHA
MENASHA, WISCONSIN

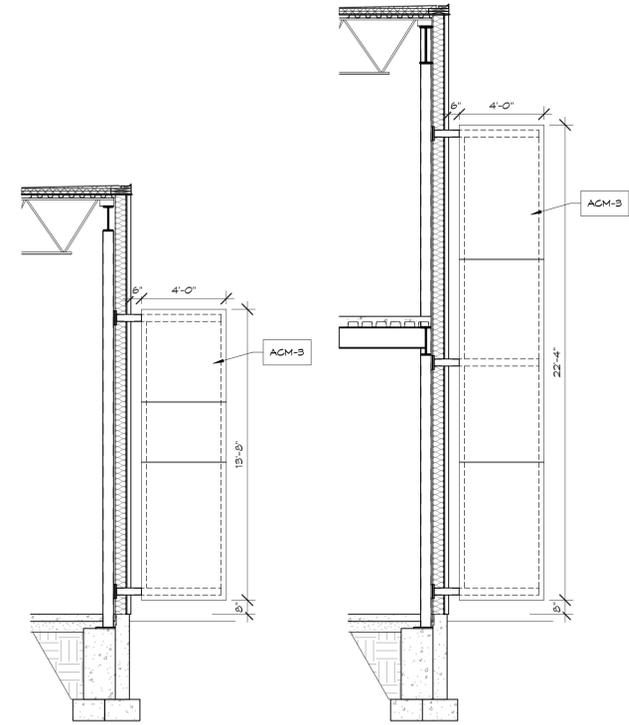
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A-4.1



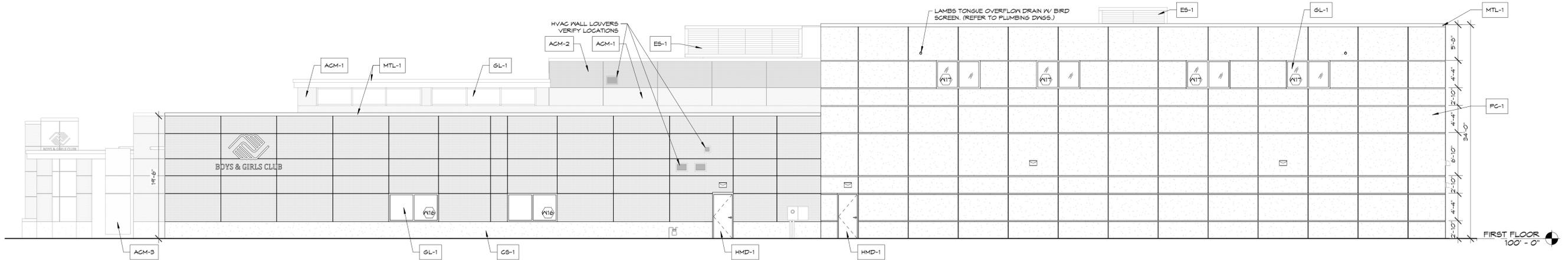
2 WEST ELEVATION
A-4.2 1/8" = 1'-0"

4 WING WALL ELEVATIONS
A-4.2 1/4" = 1'-0"



SECOND FLOOR PLAN
114' - 0"

FIRST FLOOR
100' - 0"

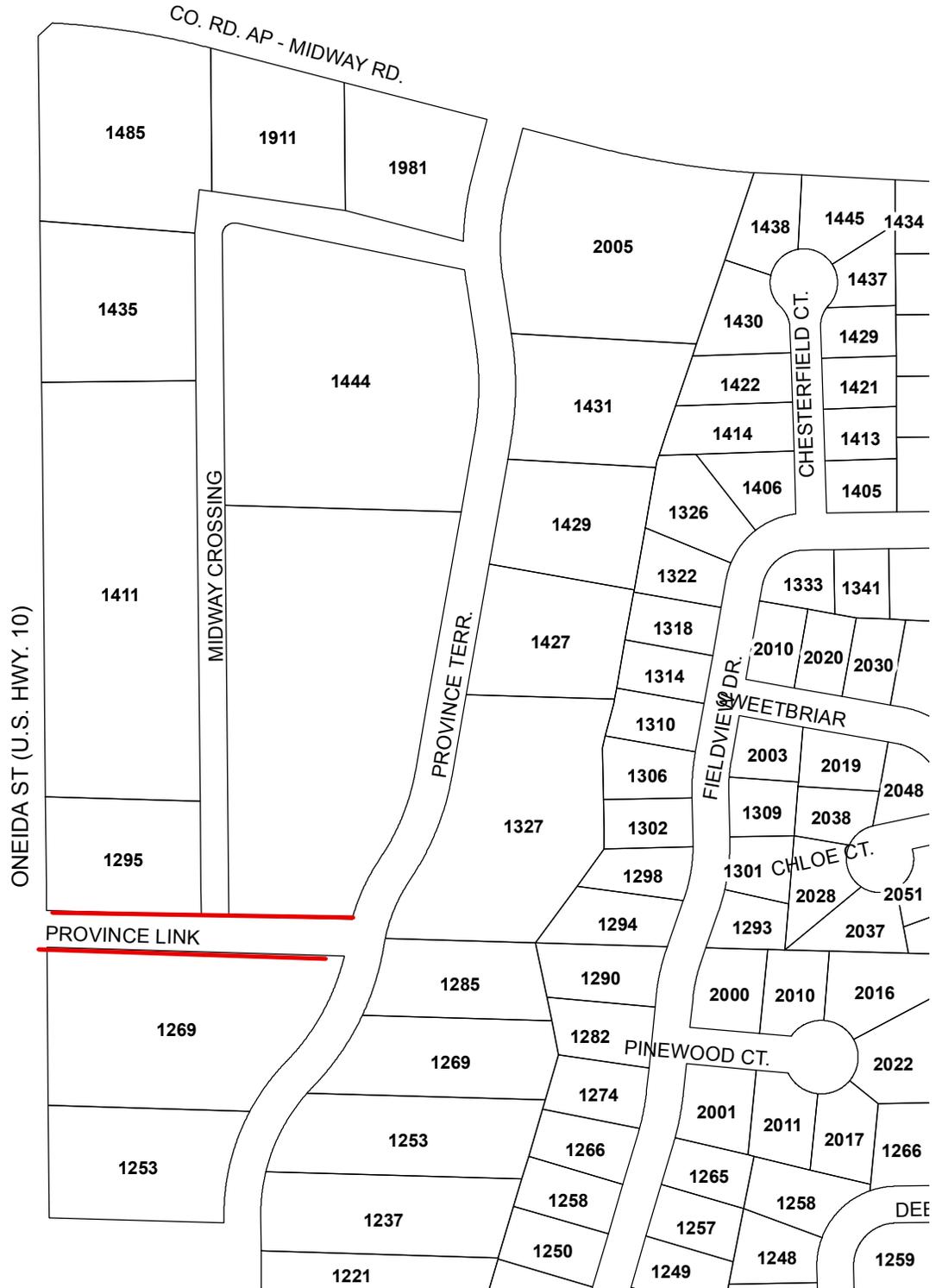


1 NORTH ELEVATION
A-4.2 1/8" = 1'-0"

Proposed Street Name Change Province Link

1818	1822
------	------

1819	1490
1440	
1370	
1360	



Subdivision Ordinance
Section 14-1-8

- (q) **VERTICAL CURVES.** All changes in street grades shall be connected by vertical curves of a minimum length in feet equivalent to thirty (30) times the algebraic difference in grade for major thoroughfares and twenty (20) times this algebraic difference for all other streets.
- (r) **HALF STREETS.** Where a half street is adjacent to the subdivision, the other half street shall be dedicated by the subdivider.
- (s) **INTERSECTIONS.**
- (1) Property lines at street intersections of major thoroughfares shall be rounded with a radius of fifteen (15) feet or of a greater radius where the Plan Commission considers it necessary.
 - (2) Provisions of the Zoning Code with respect to Traffic Visibility at street intersections shall also apply here.
 - (3) Streets shall intersect each other at as nearly right angles as topography and other limiting factors of good design permit.
 - (4) Number of streets converging at one (1) intersection shall be reduced to a minimum, preferably not more than two (2).
- (t) **ALLEYS.**
- (1) Alleys shall be provided in all commercial and industrial districts, except that the Common Council, upon the recommendation of the Plan Commission, may waive this requirement where other definite and assured provisions are made for service access, such as off-street loading and parking, consistent with and adequate for the uses proposed. No alleys shall connect with a major thoroughfare. Alleys in residential areas other than those zoned for multiple-family use shall not be permitted. The width of alleys shall be no less than twenty-four (24) feet.
 - (2) Dead-end alleys are prohibited.
- (u) **STREET NAMES.** New street names shall not duplicate the names of existing streets, but streets that are continuations of others already in existence and named shall bear the names of the existing streets. Street names shall be subject to approval by the Plan Commission and Common Council.
- (v) **STREET DESIGN STANDARDS.**
- (1) Standards. The minimum right-of-way and roadway width of all proposed streets and alleys shall be as specified in "Minimum Roadway Design Standards," available from the Director of Public Works.
 - (2) Cul-de-sacs. Cul-de-sac streets designed to have one (1) end permanently closed shall not exceed five hundred (500) feet in length. All cul-de-sac streets designed to have one (1) end permanently closed shall terminate in a circular turnaround having a minimum right-of-way radius of sixty (60) feet and a minimum inside curb radius of forty (40) feet.
 - (3) Temporary Dead-ends or Cul-de-sacs. All temporary dead-ends shall have a maximum length of eight hundred (800) feet and a temporary cul-de-sac shall have a minimum right-of-way radius of sixty (60) feet and a minimum inside curb radius of forty (40) feet.
- (w) **LIMITED ACCESS HIGHWAY AND RAILROAD RIGHT-OF-WAY TREATMENT.** Whenever the proposed subdivision contains or is adjacent to a limited access highway or railroad right-of-way, the design shall provide the following treatment:
- (1) Subdivision Lots. When lots within the proposed subdivision back upon the right-of-way of an existing or proposed limited access highway or a railroad, a planting strip at least thirty (30) feet in depth shall be provided adjacent to the highway or railroad in addition to the normal lot depth. This strip shall be part of the platted lots but shall have the following restriction lettered on the face of the plat: "This strip reserved for

FREQUENTLY ASKED QUESTIONS LEGAL

1. Do cities or villages have any specific authority to reserve parking spaces for physically disabled persons?

Yes. Section 349.13(1m) of the Wisconsin Statutes authorizes a city or village to prohibit use of “any portion of a street, highway or parking facility reserved for any vehicle bearing special registration plates” issued to physically disabled persons under several related statutes or “a motor vehicle, other than a motorcycle, upon which a special identification card issued” to a physically disabled person is displayed or “any vehicle registered in another jurisdiction and displaying a registration plate, card or emblem issued by the other jurisdiction which designates the vehicle as a vehicle used by a physically disabled person.”

2. What is the proper procedure for changing the name of a street?

If the street to be renamed is within a recorded subdivision or certified survey map, then the renaming must be accomplished by the recording of an affidavit of correction under Wis. Stat. sec. 236.295. Section 236.20(4)(a), requires the name of each road or street in a subdivision plat to be

printed on the plat. Section 236.295(1) specifies that correction instruments, such as affidavits to correct the names of streets on a recorded plat or certified survey map shall be recorded in the office of the register of deeds. Any affidavit correcting a street name set forth in a plat or certified survey map must be approved prior to recording by the governing body of the municipality in which the subdivision is located. Sec. 236.295(2).

There is no procedure set forth in the statutes for changing the names of streets that are not a part of a recorded subdivision. We have concluded in previous League legal opinions, Streets and Alleys 478 and 414, that the procedure to be followed for renaming such streets is entirely within the discretion of the governing body. The governing body may accomplish the renaming of streets outside of subdivisions by merely adopting an ordinance or resolution.

3. Can a city or village police officer enforce traffic regulations on both sides of a road that serves as a boundary between a city/village and a township or between a city/village and a city/village?

Yes. Wisconsin Statute section 175.40(4) provides:

A peace officer whose boundary is a highway may enforce any law or ordinance that he or she is otherwise authorized to enforce by arrest or issuance of a citation on the entire width of such a highway and on the entire intersection of such a highway and a highway located in an adjacent jurisdiction. This subsection does not extend an officer’s jurisdiction outside the boundaries of this state.

Thus, a city or village police officer may enforce a traffic regulation on both sides of a road that serves as a boundary between the city/village and a township or as a boundary between the city/village and another city/village irrespective of whether the city or village boundary covers all or none of the boundary highway.