

# PROPOSED NEW ADDITION FOR: U.W. FOX VALLEY THE FOX VILLAGE STUDENT APARTMENTS

**1284 MIDWAY ROAD  
CITY OF MENASHA, WISCONSIN**

## SHEET INDEX

### ARCHITECTURAL

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### STRUCTURAL

### PLUMBING

THIS IS A DESIGN BUILD PROJECT FOR PLUMBING. THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

### HVAC

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## PROJECT INFORMATION

<b>PROJECT:</b>	FOX VILLAGE STUDENT HOUSING	<b>OCCUPANCY:</b>	E SI 4 B NON-SEPARATED	<b>ALLOWABLE AREA PER FLOOR</b>	
<b>ADDRESS:</b>	1284 MIDWAY ROAD CITY OF MENASHA, WI	<b>TYPE OF CONSTRUCTION:</b>	VB (WOOD FRAMED UNPROTECTED) NON-SPRINKLED	<b>BUILDING AREA:</b>	
<b>USE:</b>	R-2 MULTI-FAMILY	<b>OCCUPANT LOAD:</b>		EXISTING BUILDING (3 STORIES)	21,840 S.F.
<b>ZONING:</b>	R-2 MULTI-FAMILY	<b>CALCULATED LOAD:</b>		ADDITION (3 STORIES)	14,550 S.F.
<b>SPECIAL EXCEPTION:</b>	G1 GENERAL COMMERCIAL R-4 MULTI-FAMILY / HIGH DENSITY	<b>DAYCARE = 125 CHILDREN PER LICENSE EMPLOYEES 16</b>		<b>TOTAL</b>	<b>35,990 S.F.</b>
<b>OWNER:</b>	GBM REAL ESTATE HOLDINGS, LLC. 300 N. BROADWAY, SUITE 2B GREEN BAY, WI 54303	<b>EGRESS WIDTH REQUIRED:</b>	27' OCCUPANT NON-SPRINKLED		
<b>CONTACT:</b>	PAUL BELSCHNER 420-552-5828	<b>SEE PLAN</b>			
<b>DESIGNERS OF RECORD:</b>		<b>EXIT ACCESS TRAVEL DISTANCE:</b>	200' PER TABLE 1004.2.4		
<b>ARCHITECTURAL:</b>	FISHER & ASSOCIATES ARCHITECTS / PLANNERS 215 PETERLYNN DRIVE HEIGHTSTOWN, WI 54180 P.(420) 552-4181 F.(420) 552-4181	<b>TOILET FACILITIES PER TABLE 2902.1:</b>			
<b>CONTACT:</b>	RICHARD J. FISHER AIA	<b>BUSINESS USE:</b>	16 OCCUPANTS		
<b>STRUCTURAL ENGINEERS:</b>	LARSON ENGINEERING OF WISCONSIN 2901 ENTERPRISE AVE APPLETON, WISCONSIN 54915 P.(420) 734-8261 F.(420) 734-8260	<b>TOILETS FOR CHILDREN ARE WITHIN EACH ROOM</b>			
<b>CONTACTS:</b>	BRIAN ENDTER	<b>STAFF TOILETS ARE SINGLE USER TOILET ROOMS</b>			
<b>GENERAL CONTRACTOR:</b>	SMET CONSTRUCTION SERVICES 300 N. BROADWAY GREEN BAY, WI 54303 P.(420) 552-5828 F.(420) 552-5841	<b>1 KIC &amp; 1 LAV FOR MENS AND WOMENS PROVIDED</b>			
<b>CONTACT:</b>	STEVE PAYANT	<b>1 SERVICE SINK IS PROVIDED IN LAUNDRY ROOM</b>			
		<b>FIRE FIGHTING APPARATUS</b>			
		<b>THE BUILDING IS LIMITED IN AREA</b>			
		<b>THE FIRE LANE IS UNOBSTRUCTED</b>			
		<b>THE FIRE LANE IS WITHIN 150' OF ALL PARTS OF THE EXTERIOR WALL</b>			
		<b>WITH A MIN. UNOBSTRUCTED HEIGHT OF 15'-0"</b>			
		<b>THE BUILDING IS 19'-0" TALL</b>			
		<b>CONTROL AREAS</b>			
		<b>NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING</b>			
		<b>PER TABLES 507.1(1) AND 507.1(2)</b>			
		<b>GRADE PLAN DETERMINATION</b>			
		<b>THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 19'-0"</b>			
		<b>ALLOWABLE HEIGHT PER TABLE 509.15.55'</b>			
		<b>NUMBER OF STORIES (1)</b>			
		<b>THIS BUILDING HAS ONE FLOOR LEVEL</b>			

A FIRE ALARM SYSTEM SHALL BE INSTALLED  
PER IBC SECTION 907.2.3

**ISSUED FOR SITE PLAN APPROVAL** **9/2/14**



**SMET**  
CONSTRUCTION SERVICES

OUR REPUTATION IS BUILDING

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 (920) 552-5828

MARINETTE OFFICE  
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 E-MAIL: BUILD@SMET.COM  
 WWW.SMET.COM

SMET CONSTRUCTION SERVICES CORP. • DESIGN/BUILD/FINANCE

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REVISIONS:	DATE	DESCRIPTION
1	8/21/14	RELEASED FOR SITE PLAN

FISHER & ASSOCIATES, LLC  
ARCHITECTS & PLANNERS  
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F.(420) 552-4181  
rfisher@fisherandassociates.com

**PROJECT INFO:**

UW FOX VALLEY  
THE FOX VILLAGE STUDENT APARTMENTS

1284 MIDWAY ROAD  
CITY OF MENASHA, WI

<b>DRAWN BY:</b> RJF	<b>SALES:</b> -
<b>SMET NO.:</b> -	<b>SHEET:</b> -
<b>ARCHT. NO.:</b> 14029	<b>TS</b>
<b>DATE:</b> MAY 27, 2014	

# PROJECT INFORMATION

**PROJECT:** FOX VILLAGE STUDENT HOUSING  
**ADDRESS:** 1284 MIDWAY ROAD  
 CITY OF MENASHA, WI  
**USE:** R-2 MULTI-FAMILY  
**ZONING:** C1 GENERAL COMMERCIAL  
 SPECIAL EXC. R-4 MULTI-FAMILY / HIGH DENSITY  
**OWNER:** GBW REAL ESTATE HOLDINGS, LLC,  
 300 N. BROADWAY, SUITE 2B  
 GREEN BAY, WI, 54303  
**CONTACT:** PAUL BELSGHNER  
 PH 920-532-3828

**DESIGNERS OF RECORD:**  
 CIVIL ENGINEERING  
 DAVEL ENGINEERING  
 1811 RAGINE STREET  
 MENASHA, WI 54904  
 P.(920) 991 1866

**CONTACT:** TIM WITTMAN

**ARCHITECTURAL:**  
 FISHER & ASSOCIATES  
 ARCHITECTS / PLANNERS  
 215 PETERLYNN DRIVE  
 WRIGHTSTOWN, WI 54190  
 P.(920) 532-4199  
 F.(920) 532-9119

**CONTACT:** RICHARD J. FISHER AIA

**BUILDING AREA:**  
 EXISTING BUILDING (3 STORIES) 21,840 S.F.  
 ADDITION (3 STORIES) 14,150 S.F.  
**TOTAL 35,990 S.F.**

**PARKING REQUIREMENTS (PER 13-1-51(B)):**

**PHASE I (EXISTING APARTMENTS):**  
 1 1/2 SPACES PER UNIT  
 (15) 4 BEDROOM UNITS = 22.5  
 (2) 2 BEDROOM UNITS = 3.0  
**26 SPACES REQUIRED**

**PHASE II (PROPOSED APARTMENTS):**  
 1 1/2 SPACES PER UNIT  
 (12) 4 BEDROOM UNITS = 18.0

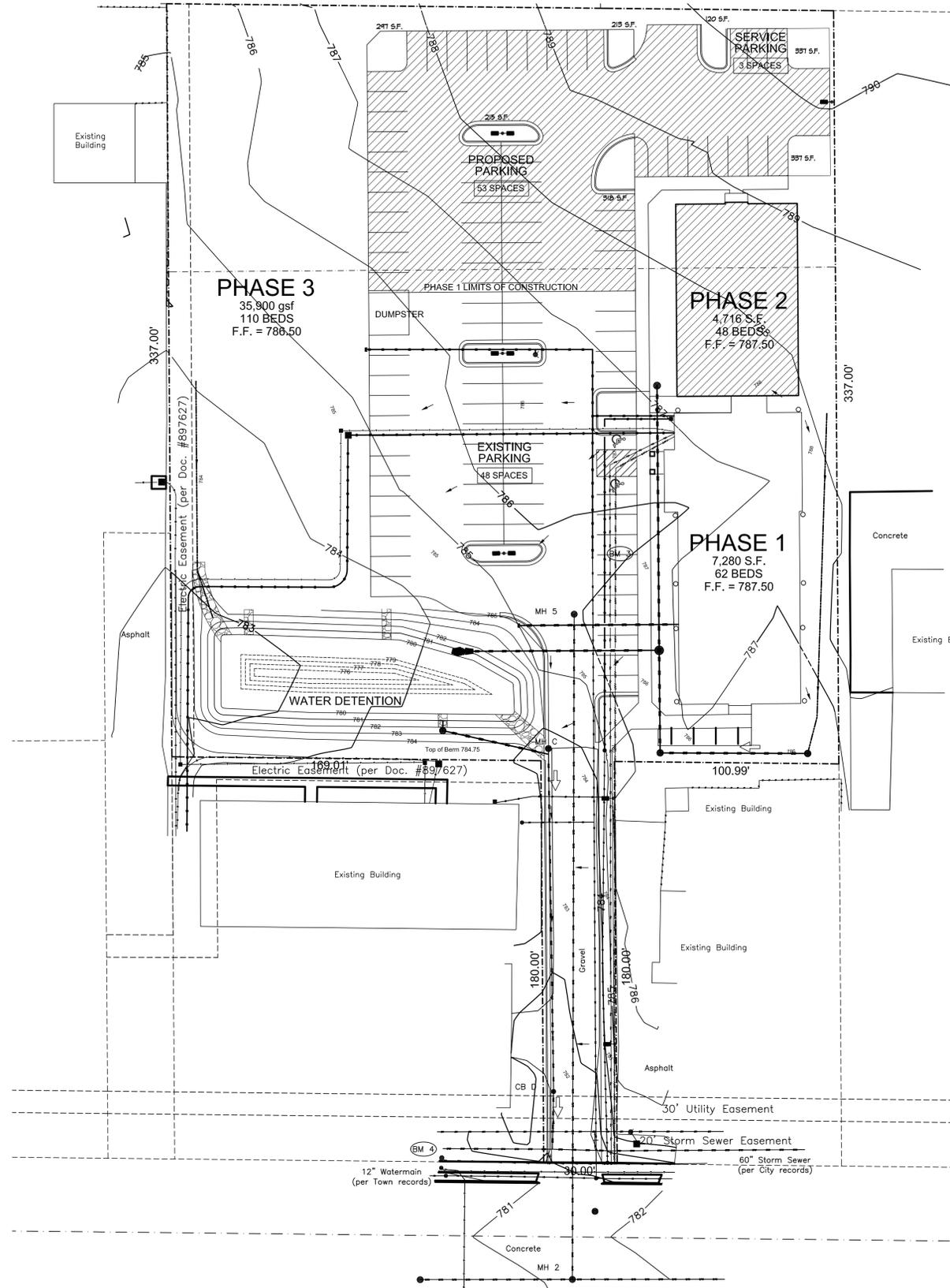
**18 SPACES REQUIRED**  
**44 TOTAL SPACES REQUIRED**

**99 TOTAL SPACES PROVIDED**

**SITE AREAS**

PAVING AND SIDEWALKS	45,816 S.F.	42.8%
BUILDING	11,946 S.F.	11.2%
GREEN SPACE	49,221 S.F.	46.0%
<b>SITE TOTAL</b>	<b>107,034 S.F.</b>	<b>100.0%</b>

**NEW PAVING DATA**  
 NEW PAVING AREA 16,147 S.F.  
 INTERIOR GREEN SPACE 1857 S.F. 11.4% OF PAVED AREA



**SITE PLAN**  
 1" = 30'-0"

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**REVISIONS:**

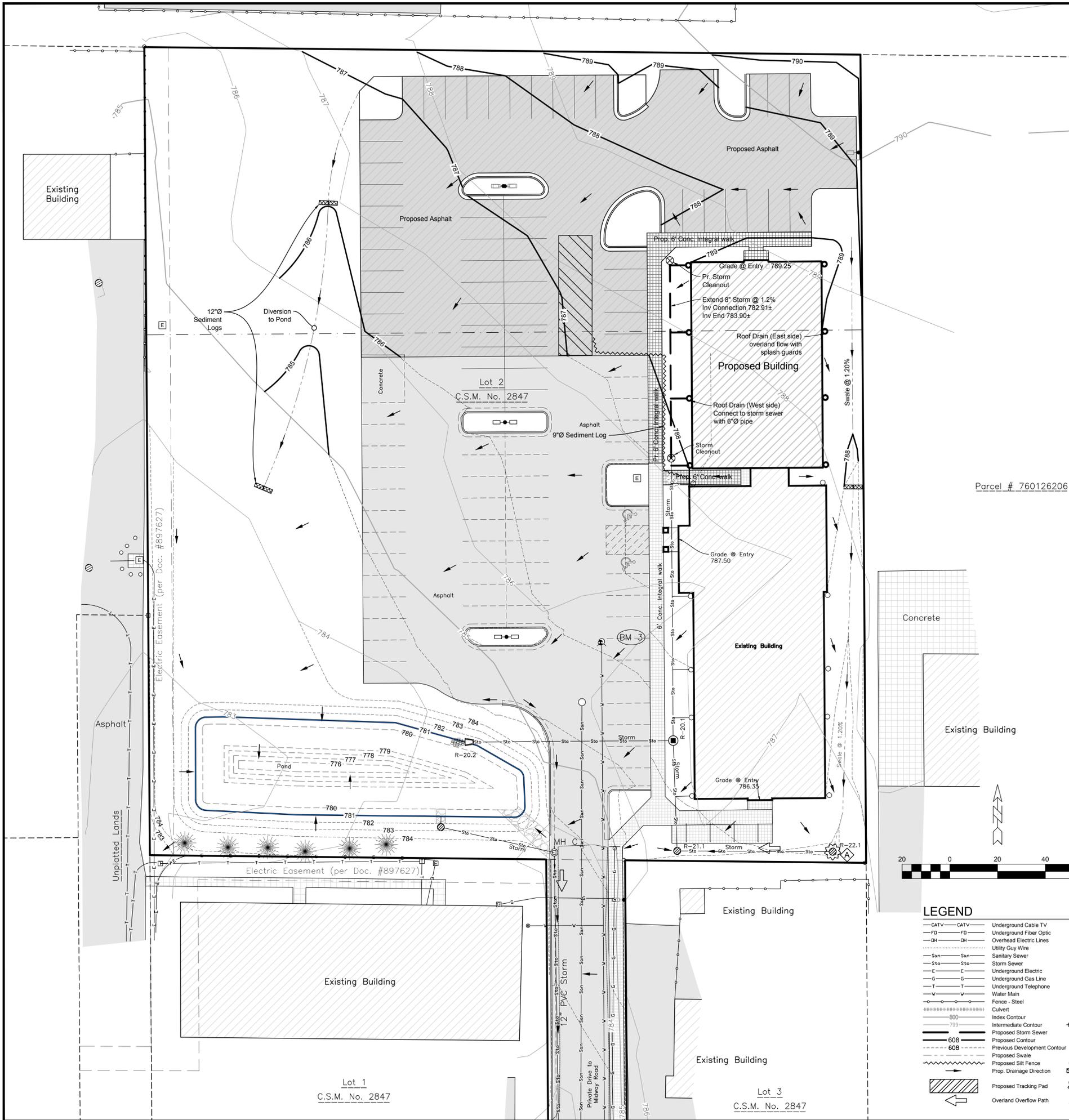
1	8/21/14	RELEASED FOR SITE PLAN
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**FISHER & ASSOCIATES, LLC**  
 Architects / Planners  
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 F: (920) 532-9119  
 rfisher@fisherandassociates.com

**PROJECT INFO:**  
 UW FOX VALLEY  
 THE FOX VILLAGE STUDENT APARTMENTS  
 1284 MIDWAY ROAD  
 CITY OF MENASHA, WI

<b>DRAWN BY:</b> RJF	<b>SALES:</b> -
<b>SMET NO.:</b> -	<b>SHEET:</b> -
<b>ARCHT. NO.:</b> 14029	<b>C1.1</b>
<b>DATE:</b> MAY 27, 2014	





**Planned Sediment and Erosion Control Practices**

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

- 1) Diverting Flow
  - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm sewer and the pond.
  - b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged with out adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upstope of any soil piles to reduce the amount of sediment transported. There are no temporary diversions proposed with this project. All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.
- 2) Overland Flow
  - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056. It will be placed at the following locations:
    - i) along the site boundary where runoff will leave the site
    - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
  - b) Sediment Bale Barrier - Intended to intercept and detain small amounts of sediment from construction operations to prevent sediment from leaving the site. Sediment Bale Barriers are not to be used in areas of channelized flow. All Sediment Bale Barriers shall be installed and maintained in accordance with DNR Technical Standard 1055. Sediment Bale Barriers may be used in place of silt fence around soil stockpiles.
  - c) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058. In addition to mulching, Erosion Mat will be used in the following areas:
    - i) on all permanent and temporary diversions;
    - ii) and on any areas with slopes greater than 4:1.
  - d) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1059. Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st. Sod placement may occur at anytime sod is available and the soil and soil are not frozen.
- 3) Trapping Sediment in Channelized Flow
  - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062. Ditch Checks will be used where erosion is occurring.
- 4) Permanent Channel Stabilization
  - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of curb cuts will be stabilized using riprap.
  - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel and are specified in accordance with DOT Erosion Control Product Acceptability Lists (PAL). Vegetated waterways will be used in the following areas:
    - i) drainage swales as indicated on the plans
- 5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrances as indicated on the plan.
- 7) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.
- 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061. The use of geotextile bags is required to prevent sedimentation. The bags shall meet the requirements of Technical Standard 1061.
- 9) The contractor shall notify the City of Menasha Erosion control Inspector at least 3 days prior to the start of soil disturbing activities. 920-967-3610
- 10) Where construction activities have permanently ceased or have temporarily been suspended for more than fourteen days, or when final grades are reached in any portion of the site, stabilization shall be implemented within seven days. Temporary stabilization practices such as mulch/tackifier, erosion mat, or WisDOT type BG soil stabilizer (polymer) shall be applied to the soil surface when the site is not ready for permanent restoration. When stabilization is not possible due to snow cover, stabilization measures shall be initiated as soon as possible.
- 11) The removal of vegetative cover and exposure of the bare ground must be restricted to the minimum amount necessary for construction. Areas where soil is exposed must be protected from erosion by seeding and mulching, sodding, diversion of surface runoff, installation of straw bales or silt screens, construction of settling basins, or similar methods as soon as possible after removal of original ground cover as described in the Wisconsin DNR Tech Stds. Any stockpile that remains over 14 days must be stabilized with mixture No. 20 from WISDOT section 630.
- 12) All construction waste shall be removed from the site and properly disposed of in accordance with state statutes. Concrete truck washout shall be completed within the construction limits adjacent to sedimentation areas and away from all stormwater collection structures. Hardened concrete waste shall either be removed from site or used as backfill in approved locations.

**Sequence of Construction**

- 1) Obtain plan approval and other applicable permits.
- 2) Flag work limits. August 2014.
- 3) Install all erosion control measures. August 2014.
- 4) Strip topsoil prior to utility construction. Stabilize topsoil in accordance with the appropriate WDNR Technical Standard. temporary seeding is required on all disturbed soils if conditions allow. August 2014.
- 5) Construct building, driveways, and parking areas upon completion of the utility connections. Field inspect and add additional measures if necessary. August 2014 - December 2014.
- 6) Stabilize lawn and ditch areas no later than one week after final grade is established. No later than September 15, 2014.
- 7) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.

Note: The dates provided are approximate for proposed (phase 1) construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others. Future (phase 2 & 3) construction timeline has not been established.

**Maintenance Plan**

- The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:
- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetative cover.
  - 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
  - 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
  - 4) Construction and waste materials shall be properly disposed.
- Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit <http://dnr.wi.gov/runoff/stormwater/constrforms.htm> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, the City of Menasha, or the Wisconsin Department of Natural Resources.

**LEGEND**

— CATV — CATV	Underground Cable TV	○ Sanitary MH / Tank / Base	□ Air Conditioner
— FD — FD	Underground Fiber Optic	○ Clean Out / Curb Stop / Pull Box	□ Telephone Pedestal
— DR — DR	Overhead Electric Lines	○ Storm Manhole	□ CATV Pedestal
— UG — UG	Utility Guy Wire	○ Inlet	□ Gas Regulator
— SAN — SAN	Sanitary Sewer	○ Catch Basin / Yard Drain	□ Sign
— STO — STO	Storm Sewer	○ Hydrant	○ Post / Guard Post
— E — E	Underground Electric	○ Utility Valve	○ Flag Pole
— G — G	Underground Gas Line	○ Utility Meter	○ Coniferous Tree
— T — T	Underground Telephone	○ Light Pole / Signal	○ Benchmark
— W — W	Water Main	○ Guy Wire / Pump	□ Asphalt Pavement
— F — F	Fence - Steel	○ Electric Pedestal	□ Concrete Pavement
— C — C	Culvert	○ Electric Transformer	□ Gravel
— I — I	Index Contour	○ Ex Spot Elevation	
— 808 — 808	Proposed Storm Sewer	○ Proposed Storm Manhole	□ Prop. Asphalt
— 608 — 608	Proposed Contour	○ Proposed Curb Inlet	□ Prop. Concrete
— 608 — 608	Previous Development Contour	○ Prop. Catch Basin / Yard Drain	
— S — S	Proposed Swale	○ Proposed Endwall	
— S — S	Proposed Silt Fence	○ Proposed Rip Rap	
— S — S	Prop. Drainage Direction	○ Proposed Ditch Check	
— S — S	Proposed Tracking Pad	○ Proposed Inlet Protection	
— S — S	Overland Overflow Path	○ Type of Inlet Protection	

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NO.	DATE	DESCRIPTION
1	8/21/14	RELEASED FOR SITE PLAN

**FISHER & ASSOCIATES, LLC**  
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215 FERRIS DRIVE, WASHINGTON, WI 54980  
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www.fishersandassociates.com

**UW FOX VALLEY**  
**THE FOX VILLAGE STUDENT APARTMENTS**  
1284 MIDWAY ROAD  
CITY OF MENASHA, WI

PROJECT INFO:  
DRAWN BY: JRD  
SMET NO.:  
ENGR. NO.: 3835.3Engr.dwg  
DATE: 08/22/2014

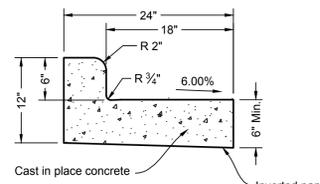
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SHEET:  
**C1.3**

**Erosion & Sediment Control Plan**

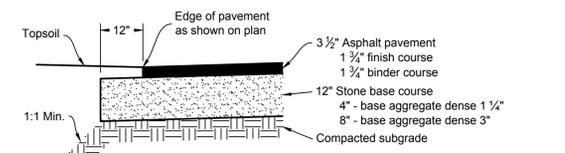
**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
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Ph: 920-991-1866 Fax: 920-830-9595  
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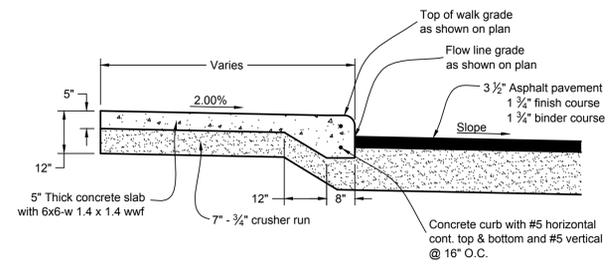




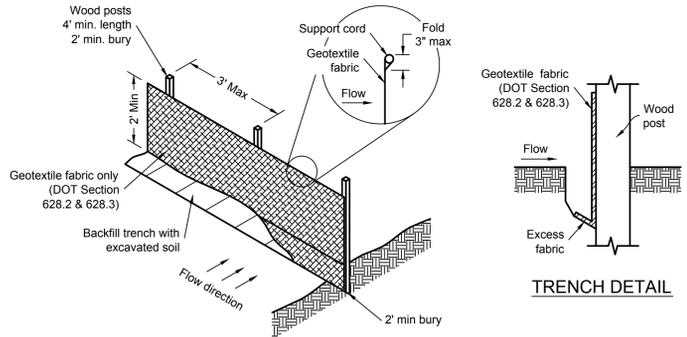
24" REJECT CURB



ASPHALT PAVEMENT SECTION



INTEGRAL SIDEWALK / PAVEMENT SECTION



TRENCH DETAIL

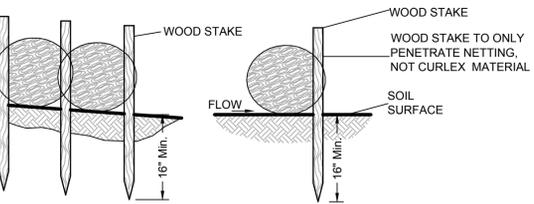
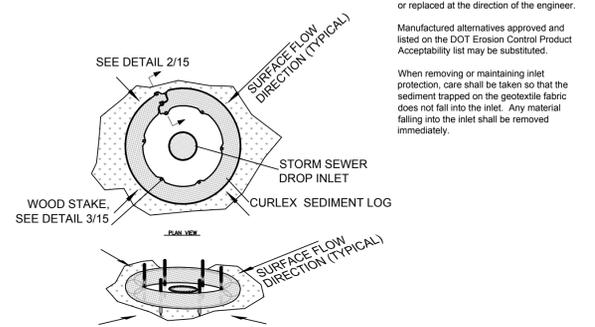
- Silt fence notes:**
1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
  2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
  3. Attach the fabric to the posts with wire staples or wooden lath and nails.
  4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
  5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
  6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
  7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

**GENERAL NOTES:**  
Inlet protection devices shall be maintained or replaced at the direction of the engineer.

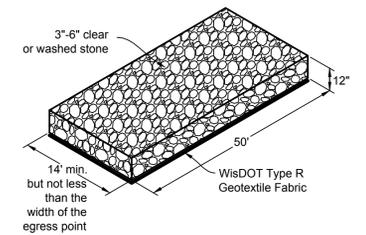
Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.

When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.



DETAIL 2/15 DETAIL 3/15

INLET PROTECTION, TYPE A



TRACKING PAD DETAIL

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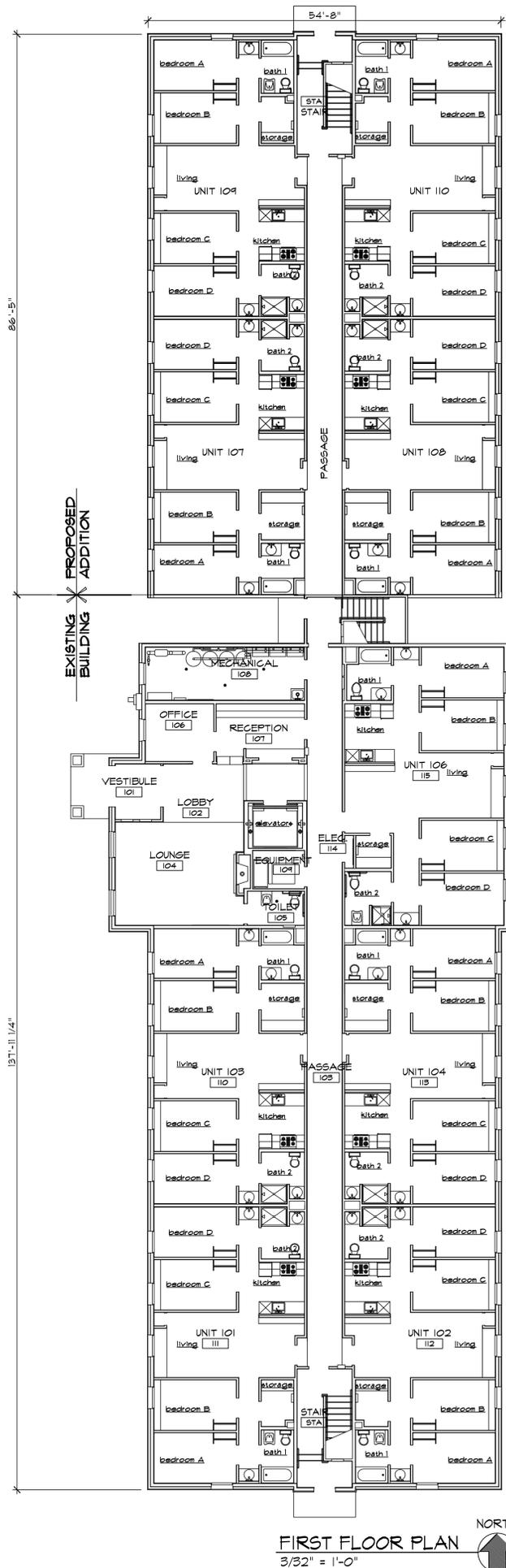
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ENGR. NO.:	C3.1
38353Engr.dwg	
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Civil Details  
**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

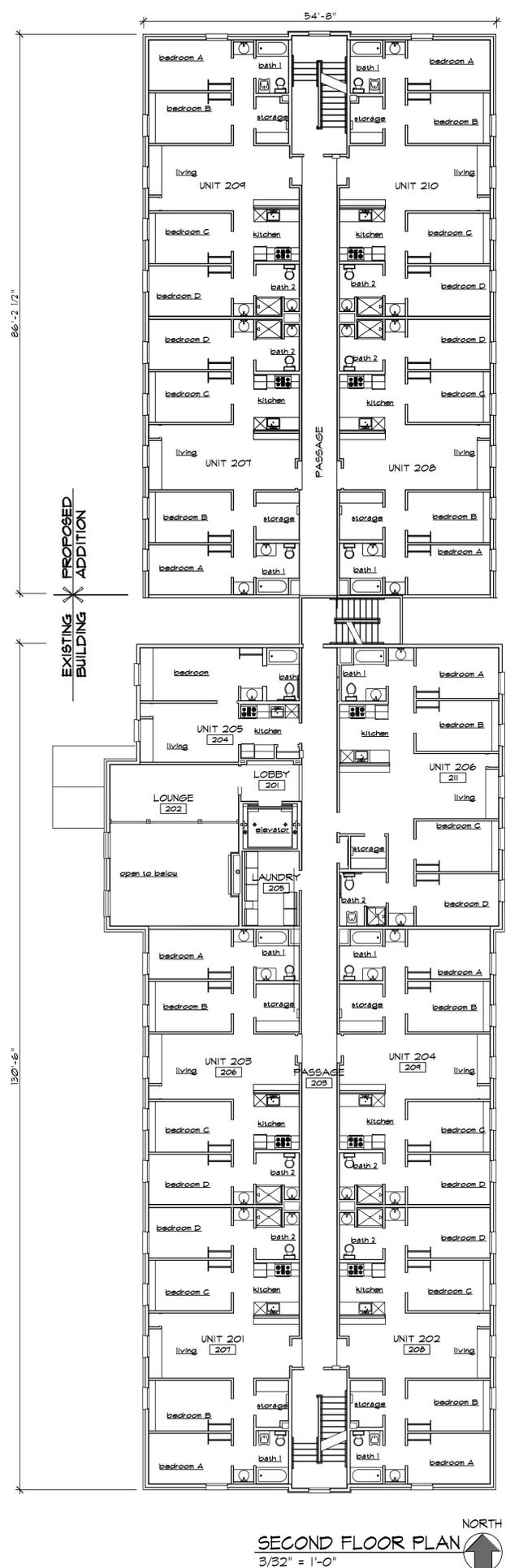
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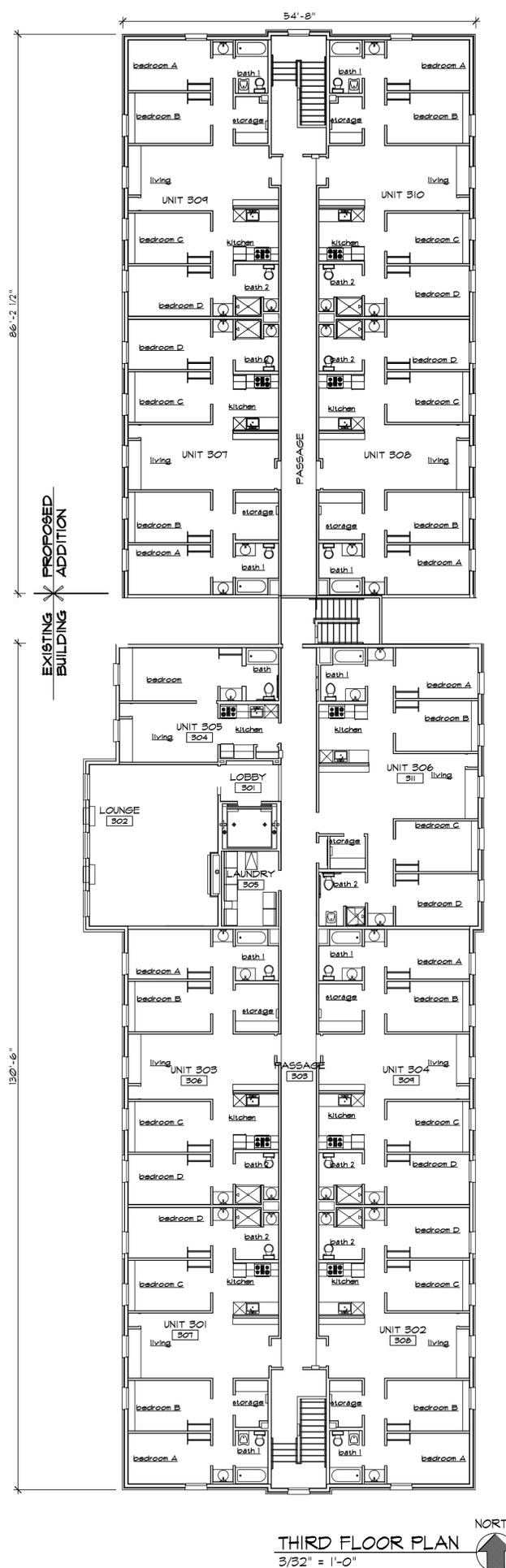




FIRST FLOOR PLAN  
3/32" = 1'-0"



SECOND FLOOR PLAN  
3/32" = 1'-0"



THIRD FLOOR PLAN  
3/32" = 1'-0"



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RJF

SMET NO.:

ARCHT. NO.:

14029

DATE:  
MAY 27, 2014

SALES:

SHEET:

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REVISIONS:

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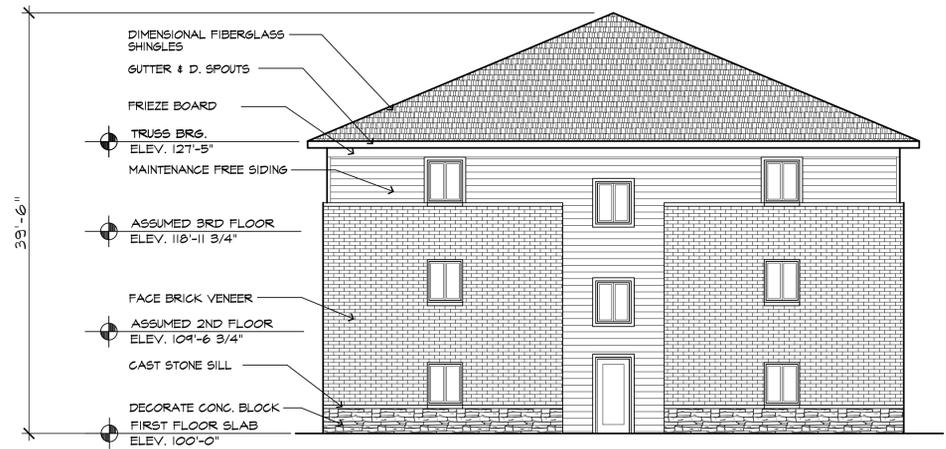
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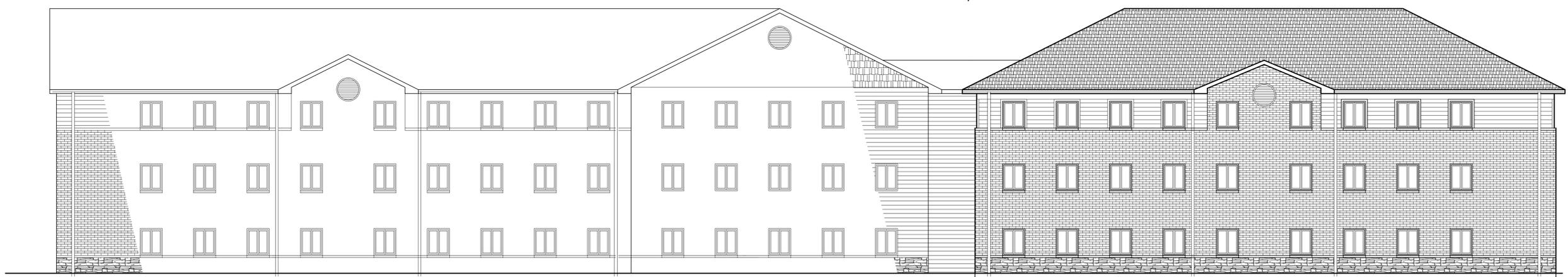


WEST ELEVATION  
1/8" = 1'-0"



WEST ELEVATION  
1/8" = 1'-0"

EXISTING BUILDING \* PROPOSED ADDITION



WEST ELEVATION  
1/8" = 1'-0"

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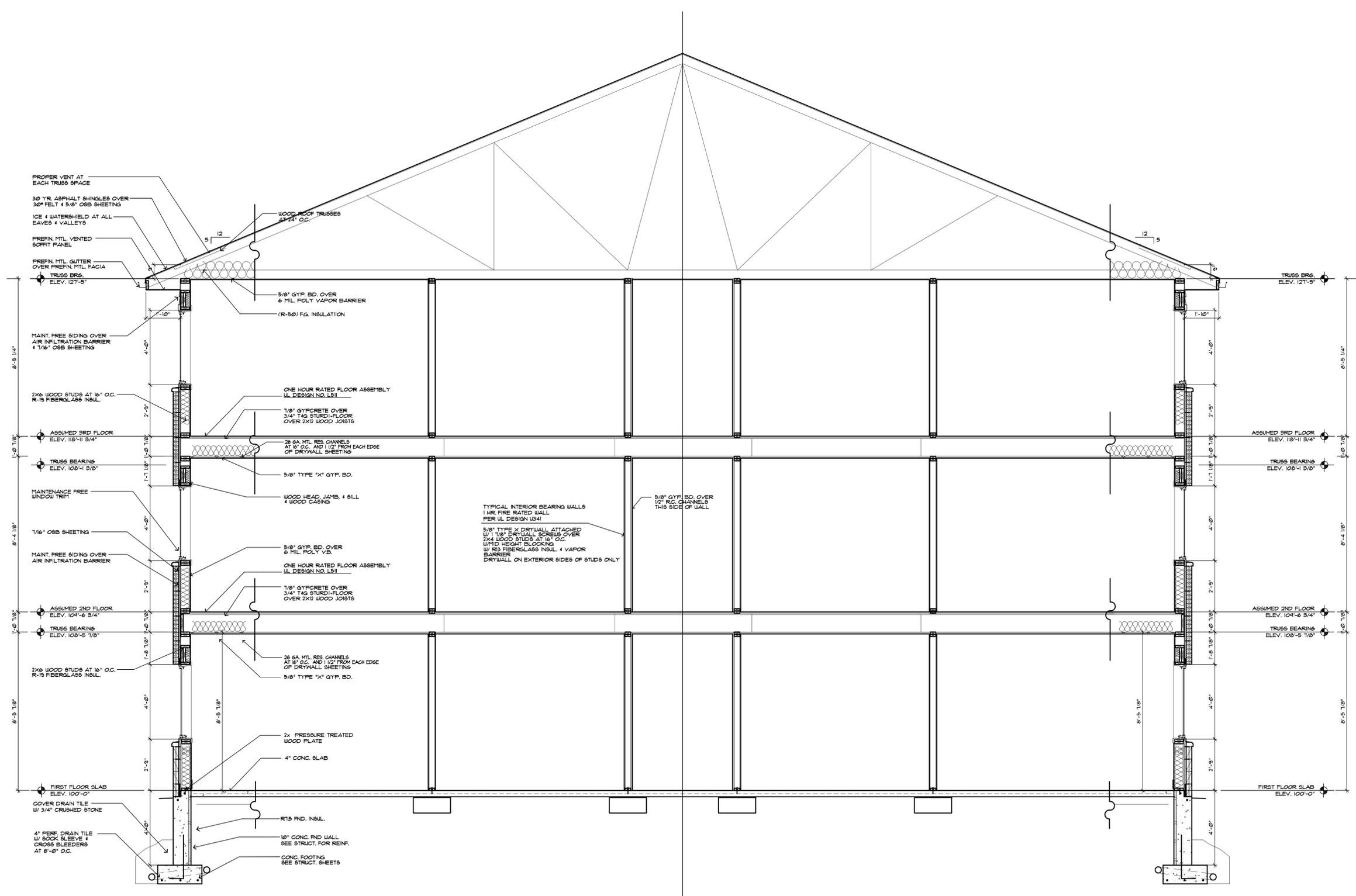
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