

City of Menasha

SPECIAL ZONING APPROVAL

Owner HISTORIC HOTEL PUB LLC Case or Plan No. _____
Address 336 CIVITE ST. Fee \$350.00
Applicant (if different than Owner) ROBERT BIECHLER
Address 100 LOCK ST.
Zoning C-2 Parcel Number(s) 2-00121-00

PLEASE INDICATE WHICH REQUEST IS BEING MADE

- Rezoning Special Use Flood Plain Map Amendment
 Appeal or Variance PUD Plan Approval

Description of Request: CHANGE OF OCCUPANCY - RESIDENTIAL TO
GROUP A (TAVERN) EXISTING NON-CONFORMING
STRUCTURE → & 4 1 bedroom apartments.

Owner/Agent Robert A. Biechler
Signature

(If applicable) Formal Hearing 12/16/2013
Informal Hearing 12/3/2013 Notice Mailed ^{to neighbors} 11/27/2013
Notice Mailed _____ Notice Mailed _____
Action Taken: _____ 20__

- APPROVED DENIED

Conditions (if any): _____



November 27, 2013

RE: Special Use Permit Application for 336 Chute St

Dear Property Owner:

Roger Biechler, of Historic Hotel Pub LLC, has applied for a Special Use Permit for the property located at 336 Chute St, Parcel # 2-00121-00, as identified on the attached map. Mr. Biechler has requested the Special Use Permit in order to establish a tavern and four apartments. A Special Use Permit is required to change the use or occupancy of a non-conforming property pursuant to Sec 13-1-44(b)(2) of the City of Menasha Municipal Code. The subject site is zoned C-2 Central Business District.

The City of Menasha Plan Commission will be considering this request at an informal public hearing on Tuesday, December 3, 2013 at 3:30 p.m. or shortly thereafter in the City Hall Council Chambers at 140 Main Street, Menasha.

The City of Menasha Common Council will also be considering this request at a formal public hearing scheduled for Monday, December 16, 2013 at 6:00 p.m. or shortly thereafter in the City Hall Council Chambers, 140 Main Street, Menasha. A copy of the notice of the Common Council hearing on this proposal is attached along with an area map identifying the location of the property.

Persons interested in this matter will be given an opportunity to comment on the request; written comments will also be considered. The City of Menasha is notifying you because you own property within one hundred (100) feet of the proposed special use, as required by Section 13-1-11(d)(3) of the Municipal Code. If you have any questions, please feel free to contact me.

Sincerely,

Kara Homan, AICP
Principal Planner

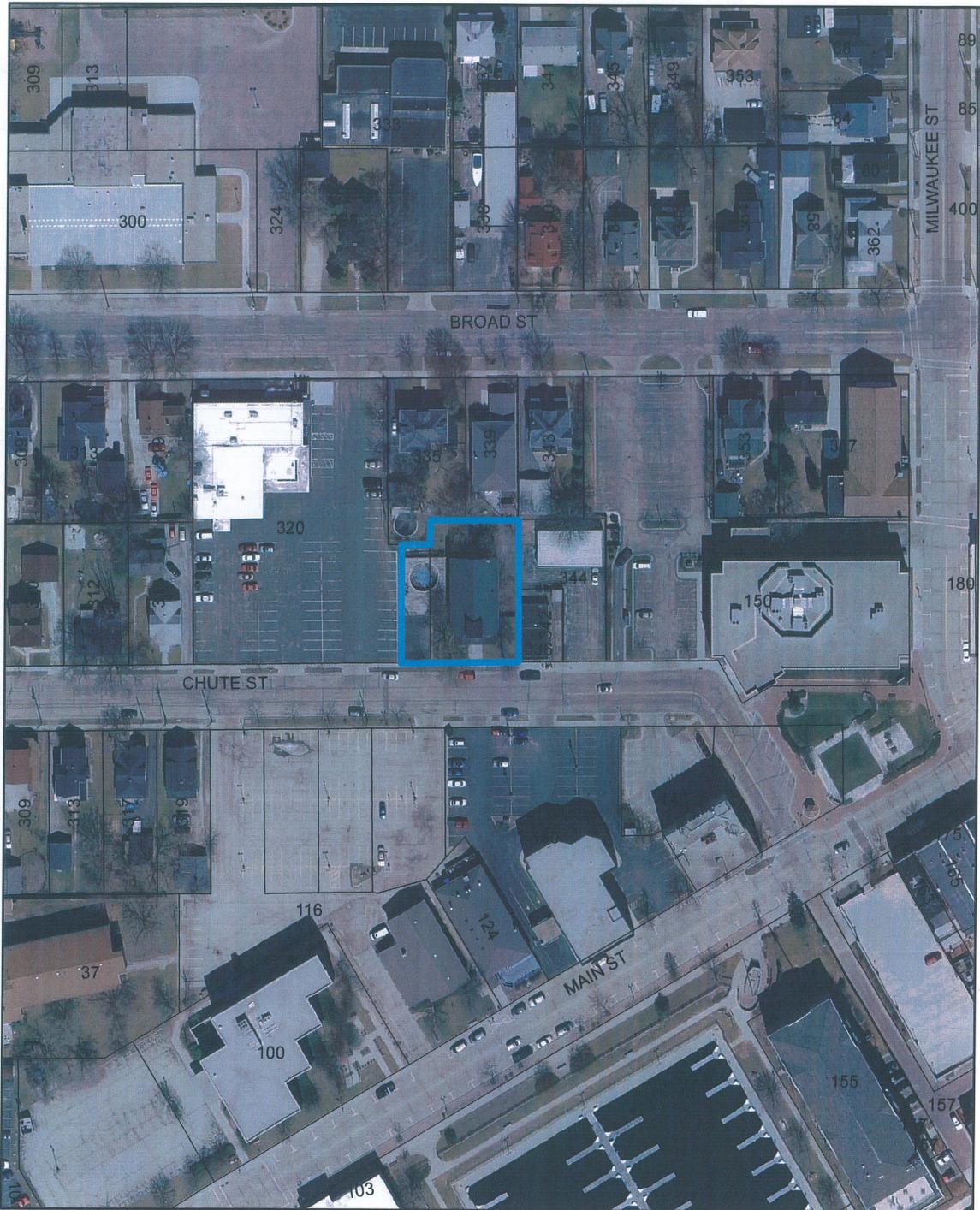
C: Plan Commission
City Clerk Galeazzi

**City of Menasha
Public Hearings**

NOTICE IS HEREBY GIVEN that public hearings will be held by the Menasha Plan Commission and Common Council on an application for a Special Use Permit by Historic Hotel Pub, LLC to establish a tavern and four apartments on a non-conforming parcel in the C-2 Central Business District, as required by Sec 13-1-44(b)(2) of the City of Menasha Municipal Code. The proposed use is to take place on a parcel located at 336 Chute Street (Parcel Number 2-00121-00), City of Menasha, Winnebago County, Wisconsin. The Plan Commission will hold its informal public hearing on Tuesday, December 3, 2013 at 3:30 PM, or shortly thereafter, in the Council Chambers of Menasha City Hall located at 140 Main Street, Menasha, WI 54952. The Common Council will hold its formal public hearing on this matter at 6:00 PM, or shortly thereafter, on Monday, December 16, 2013 at the same location. All persons interested in commenting on the application for this Special Use Permit are invited to attend.

Deborah A. Galeazzi, WCMC
City Clerk

Run: Dec 1 & 9, 2013



**Special Use Permit Location
Proposed Tavern & Apartments
336 Chute St**

Parcel Numbers: 2-00121-00

Spirits Bar

336 Chute Street, Menasha, WI, 54952

LOT 24 AND 25, BLOCK 8, IN THE PLAT OF MENASHA TWO ADDITIONS, IN THE SECOND WARD, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN;
EXCEPTING THEREFROM THE WEST 37.86 FEET OF THE NORTH 21.73 FEET OF SAID LOT 25;
ALSO EXCEPTING THEREFROM THE WEST 10.21 FEET OF THE SOUTH 108.51 FEET OF LOT 25.

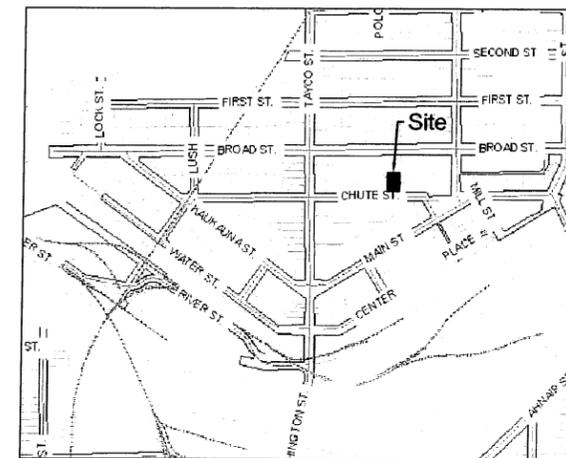
General Contractor

James J. Calmes and Sons, Inc.
N2193 Bodde Road
Kaukauna, WI 54130

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5763 Fax: 920-569-5767

CIVIL SHEETS INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING/DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING & EROSION CONTROL PLAN
- C6.0 DETAILS
- L1.0 LANDSCAPE PLAN



Location Map
Not to Scale

ABBREVIATIONS

BLDG	BUILDING
DOT	DEPARTMENT OF TRANSPORTATION
E	EAST
ELEV	ELEVATION
FIN	FINISHED
INV	INVERT
MAX	MAXIMUM
MIN	MINIMUM
N	NORTH
S	SOUTH
San	SANITARY
SF	SQUARE FEET
TYP	TYPICAL
W	WEST
WI	WISCONSIN

LEGEND:

○	SANITARY MANHOLE
○	WATER VALVE
○	FIRE HYDRANT
○	POWY GUY
○	GAS METER
○	LIGHT
○	DECORATIVE STREET LIGHT
○	SIGN
○	TREE
○	BOLLARD
○E	OVERHEAD ELECTRICAL
○T	OVERHEAD TELEPHONE

Existing	Proposed	
		Asphalt
		Building
		Concrete



Lot 2
13,619 SF
0.3126 Acre

Broad Street (80')

Chute Street (60')

S89°55'25"E 82.18'

10' Minimum Transitional Buffer Zone

S89°56'20"E 27.65'

N00°45'18"E 21.73'

S00°45'18"W 130.26'

N89°55'25"W 108.25'

5' Minimum Front Yard Setback

James J Calmes

Spirits Bar

Cover Sheet

DIGGERS HOTLINE

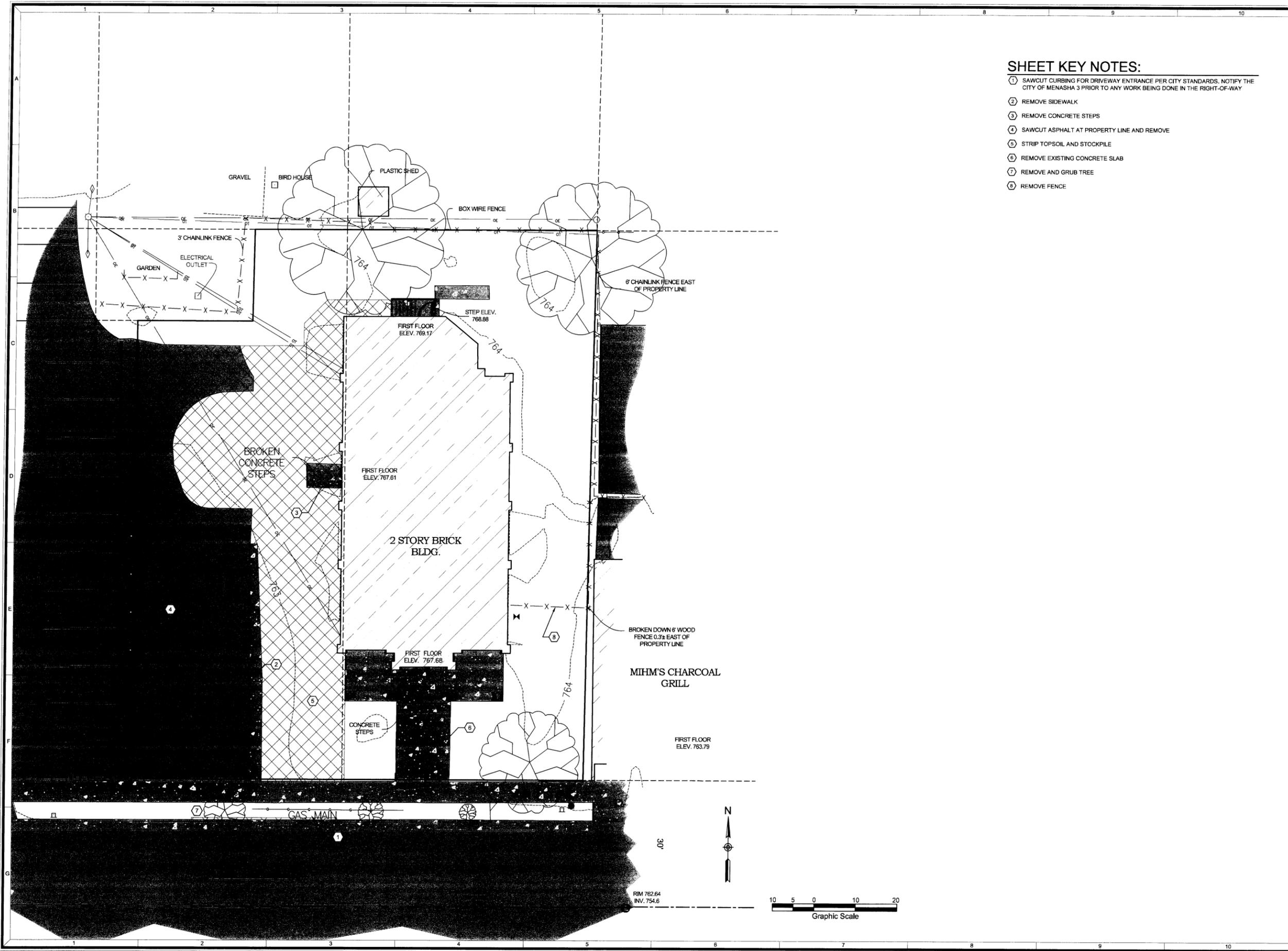
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE, THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE:	December 11, 2013
DRAFTED BY:	RPH
CHECKED BY:	JE
PROJECT NO.:	0690-01-13
DRAWING NUMBER	883
SHEET NUMBER	C0.0
	of 6

R:\Jobs\0690-01-13 Spirits Bar\DRAWINGS\0690-01-13 Eng.dwg 12/11/2013 10:10:22 AM



SHEET KEY NOTES:

- ① SAWCUT CURBING FOR DRIVEWAY ENTRANCE PER CITY STANDARDS. NOTIFY THE CITY OF MENASHA 3 PRIOR TO ANY WORK BEING DONE IN THE RIGHT-OF-WAY
- ② REMOVE SIDEWALK
- ③ REMOVE CONCRETE STEPS
- ④ SAWCUT ASPHALT AT PROPERTY LINE AND REMOVE
- ⑤ STRIP TOPSOIL AND STOCKPILE
- ⑥ REMOVE EXISTING CONCRETE SLAB
- ⑦ REMOVE AND GRUB TREE
- ⑧ REMOVE FENCE

Mach IV
 Engineering & Surveying LLC
 211 N. Broadway, Suite 114, Green Bay, WI 54303
 PH: 920-569-5765 Fax: 920-569-5767

James J Calmes

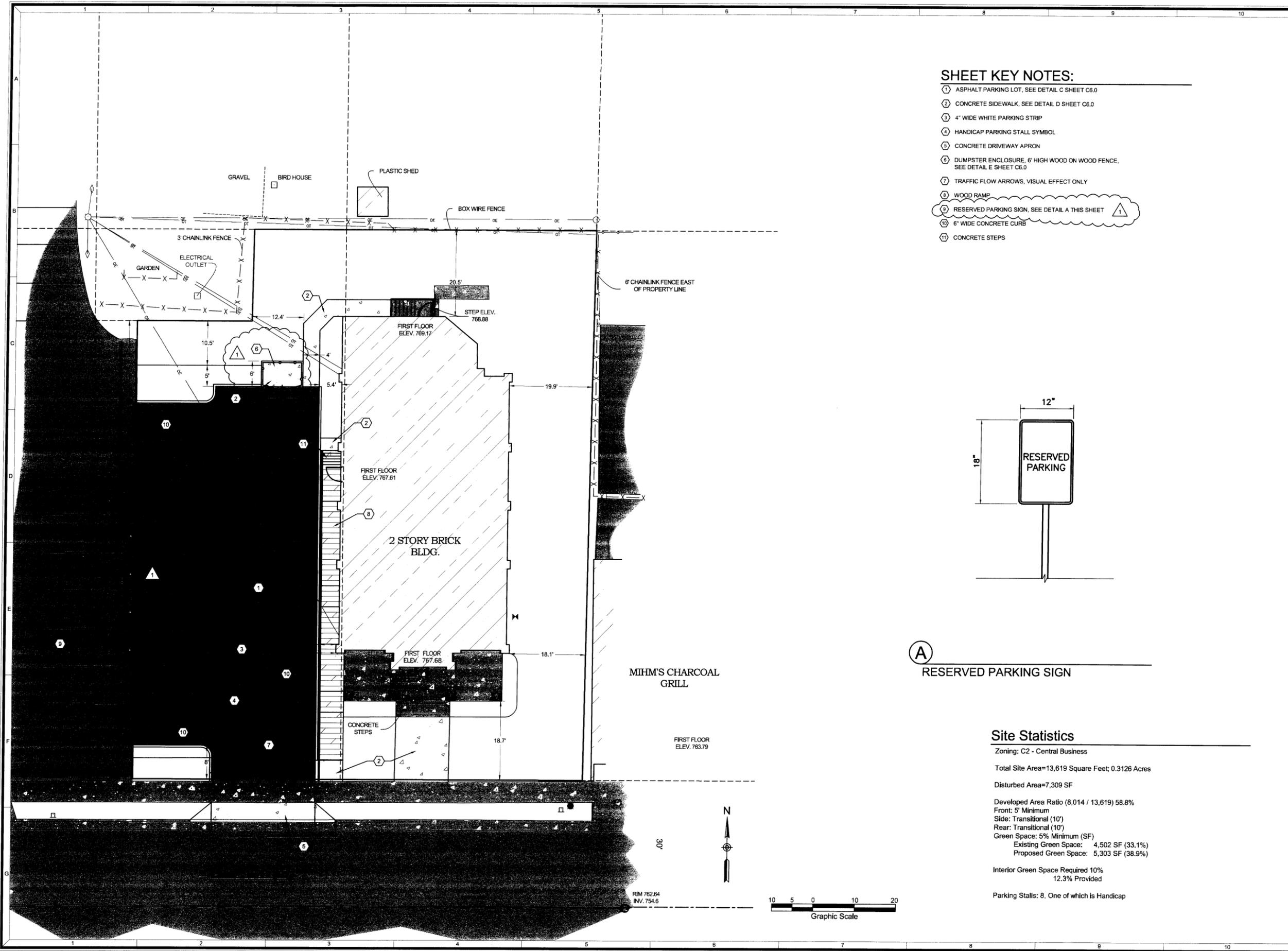
Spirits Bar

Existing / Demolition Plan

NO.	REVISION DESCRIPTION

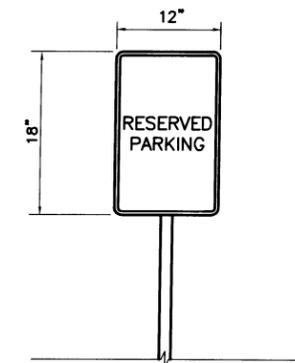
DATE: December 11, 2013	
DRAFTED BY: RPH	
CHECKED BY: JE	
PROJECT NO.: 0690-01-13	
DRAWING NUMBER	883
SHEET NUMBER	
C1.0	
of 6	

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SHEET KEY NOTES:

- ① ASPHALT PARKING LOT, SEE DETAIL C SHEET C6.0
- ② CONCRETE SIDEWALK, SEE DETAIL D SHEET C6.0
- ③ 4" WIDE WHITE PARKING STRIP
- ④ HANDICAP PARKING STALL SYMBOL
- ⑤ CONCRETE DRIVEWAY APRON
- ⑥ DUMPSTER ENCLOSURE, 6' HIGH WOOD ON WOOD FENCE, SEE DETAIL E SHEET C6.0
- ⑦ TRAFFIC FLOW ARROWS, VISUAL EFFECT ONLY
- ⑧ WOOD RAMP
- ⑨ RESERVED PARKING SIGN, SEE DETAIL A THIS SHEET
- ⑩ 6' WIDE CONCRETE CURB
- ⑪ CONCRETE STEPS



A
RESERVED PARKING SIGN

Site Statistics

Zoning: C2 - Central Business
 Total Site Area=13,619 Square Feet; 0.3126 Acres
 Disturbed Area=7,309 SF
 Developed Area Ratio (8,014 / 13,619) 58.8%
 Front: 5' Minimum
 Side: Transitional (10')
 Rear: Transitional (10')
 Green Space: 5% Minimum (SF)
 Existing Green Space: 4,502 SF (33.1%)
 Proposed Green Space: 5,303 SF (38.9%)
 Interior Green Space Required 10%
 12.3% Provided
 Parking Stalls: 8, One of which is Handicap

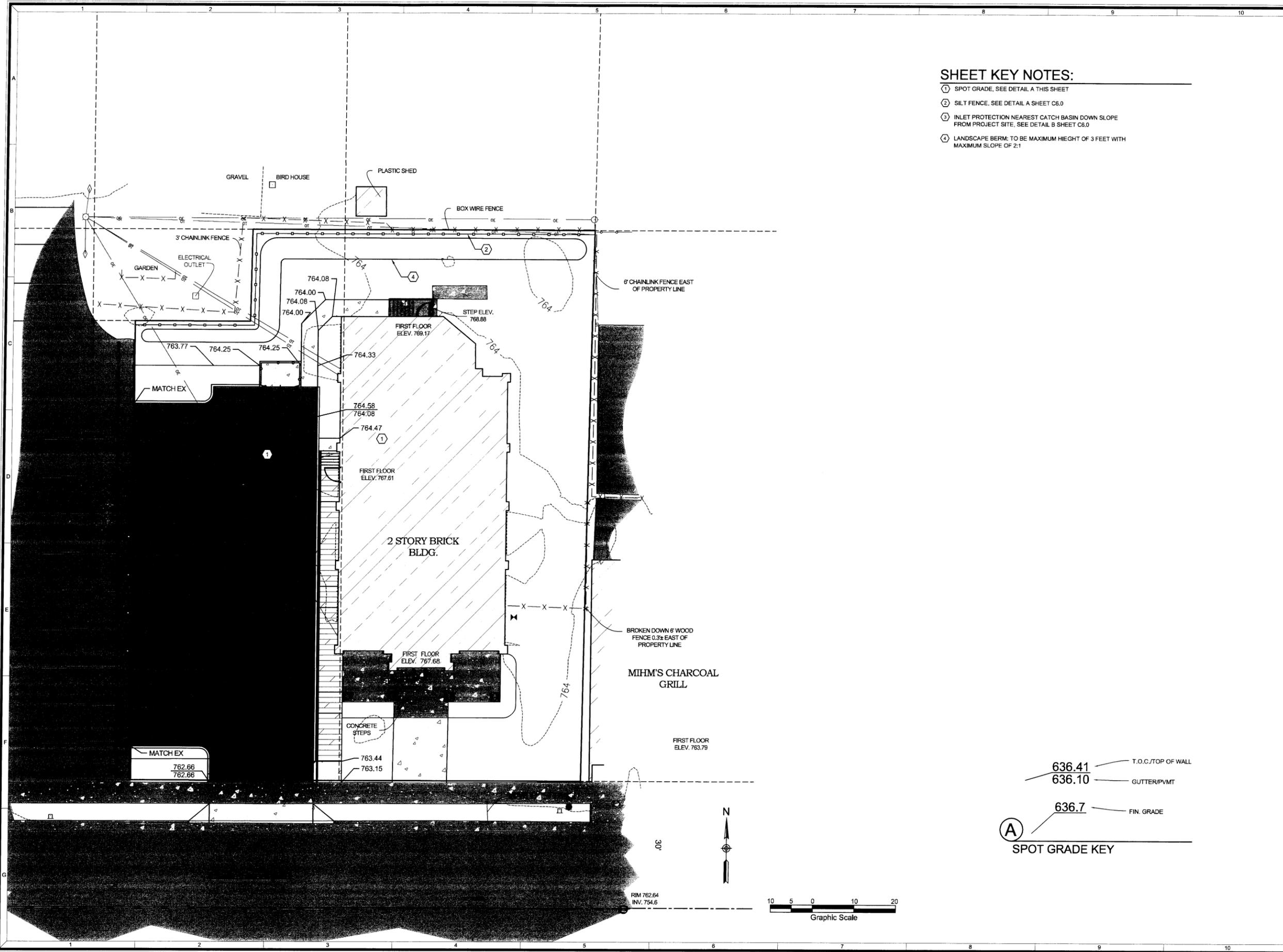
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 PH: 920-569-5765 Fax: 920-569-5767

James J Calmes
 Spirits Bar
 Site Plan

REVISION DESCRIPTION	
NO.	DESCRIPTION
1	12-10-2013 City Comments

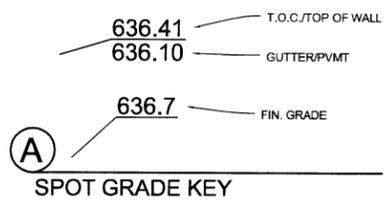
DATE: December 11, 2013
DRAFTED BY: RPH
CHECKED BY: JE
PROJECT NO.: 0690-01-13
DRAWING NUMBER: 883
SHEET NUMBER: C2.0

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SHEET KEY NOTES:

- ① SPOT GRADE, SEE DETAIL A THIS SHEET
- ② SILT FENCE, SEE DETAIL A SHEET C6.0
- ③ INLET PROTECTION NEAREST CATCH BASIN DOWN SLOPE FROM PROJECT SITE, SEE DETAIL B SHEET C6.0
- ④ LANDSCAPE BERM: TO BE MAXIMUM HEIGHT OF 3 FEET WITH MAXIMUM SLOPE OF 2:1



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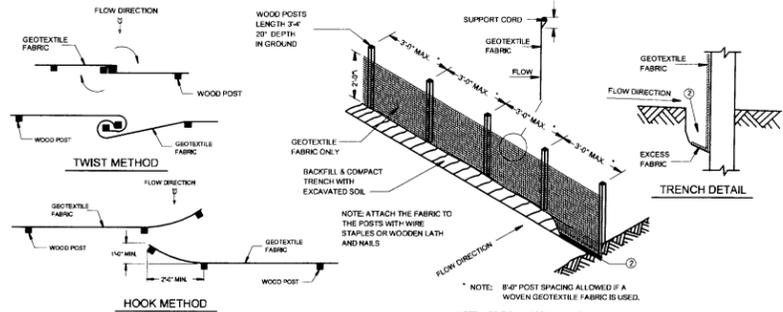
James J Calmes

Spirits Bar

Grading & Erosion Control Plan

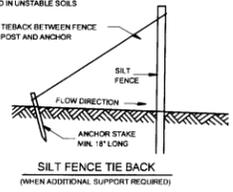
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DATE:	December 11, 2013
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SHEET NUMBER	
C3.0	
of 6	

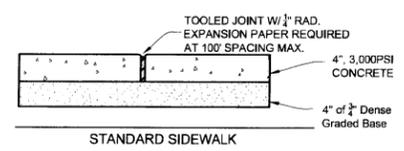


JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES:**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

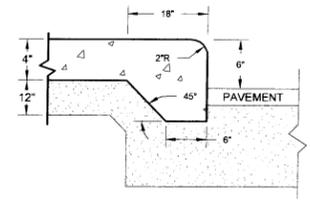


A
SILT FENCE

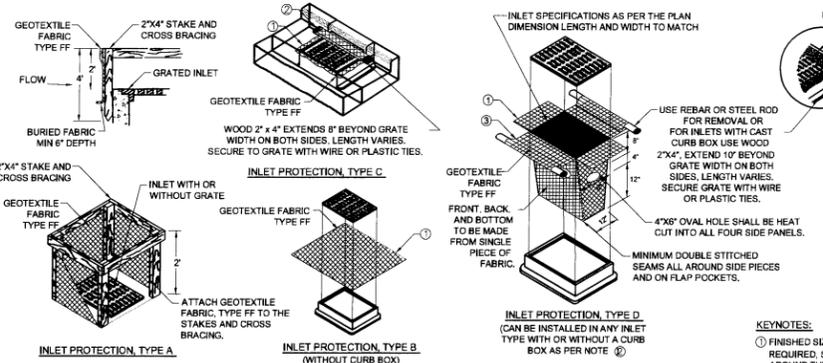


- NOTES:**
- CONCRETE SHALL RECEIVE A BROOMED FINISH.
 - JOINT SPACING SHALL BE 5' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER, (10' MAX).
 - SIDEWALK WIDTH VARIES.

D
CONCRETE SIDEWALK



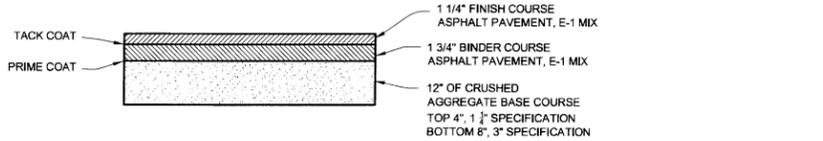
THICKENED EDGE FOR MONOLITHIC SIDEWALK



- INSTALLATION NOTES:**
- TYPE D**
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30". MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG USING PLASTIC ZIP TIES TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.
- KEYNOTES:**
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD ZKA.

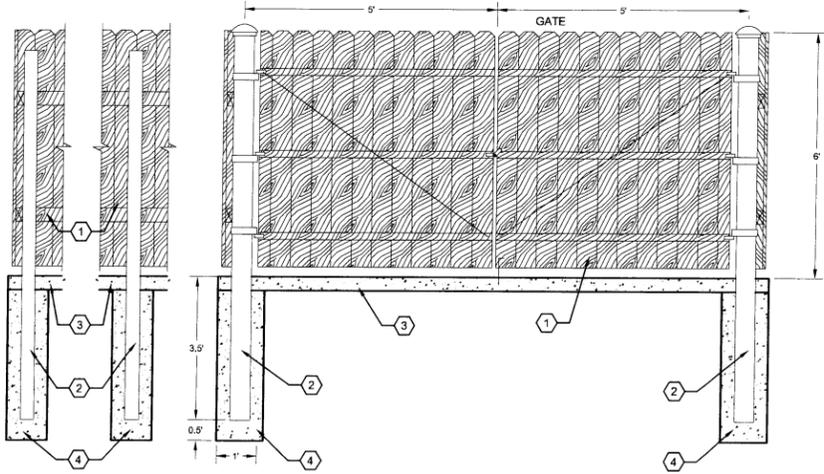
- GENERAL NOTES:**
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

B
INLET PROTECTION



- NOTES:**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

C
STANDARD ASPHALT PAVEMENT SECTION



E
WOOD FENCE (DUMPSTER INCLOSURE)

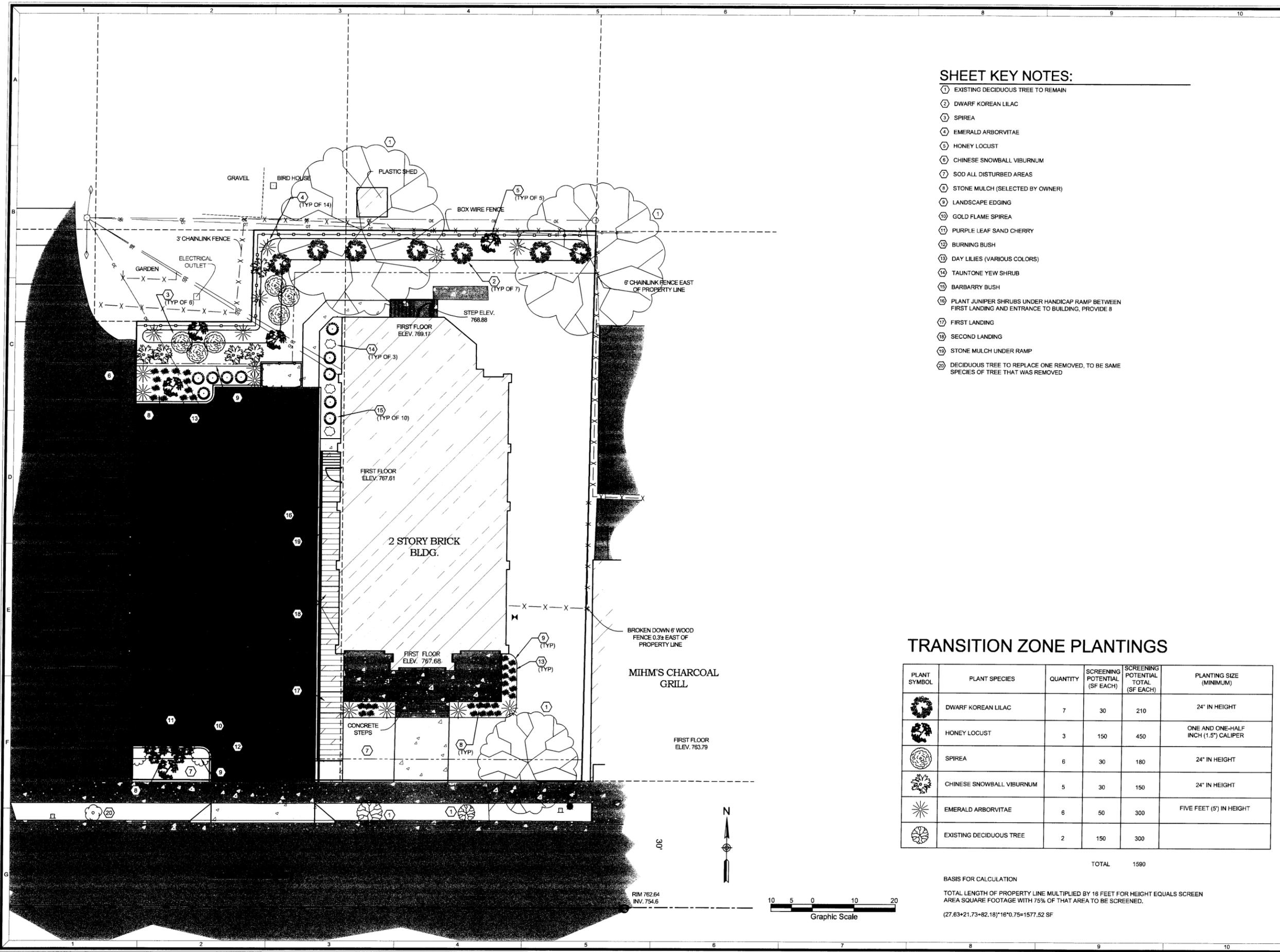
SHEET KEY NOTES:

- BOARD ON BOARD GATE AND FENCING
- STEEL POST
- CONCRETE SLAB
- CONCRETE POST SUPPORT

NO.	REVISION DESCRIPTION

DATE:	December 11, 2013
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SHEET NUMBER:	C6.0

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SHEET KEY NOTES:

- ① EXISTING DECIDUOUS TREE TO REMAIN
- ② DWARF KOREAN LILAC
- ③ SPIREA
- ④ EMERALD ARBORVITAE
- ⑤ HONEY LOCUST
- ⑥ CHINESE SNOWBALL VIBURNUM
- ⑦ SOD ALL DISTURBED AREAS
- ⑧ STONE MULCH (SELECTED BY OWNER)
- ⑨ LANDSCAPE EDGING
- ⑩ GOLD FLAME SPIREA
- ⑪ PURPLE LEAF SAND CHERRY
- ⑫ BURNING BUSH
- ⑬ DAY LILIES (VARIOUS COLORS)
- ⑭ TAUNTON YEW SHRUB
- ⑮ BARBARRY BUSH
- ⑯ PLANT JUNIPER SHRUBS UNDER HANDICAP RAMP BETWEEN FIRST LANDING AND ENTRANCE TO BUILDING, PROVIDE 8
- ⑰ FIRST LANDING
- ⑱ SECOND LANDING
- ⑲ STONE MULCH UNDER RAMP
- ⑳ DECIDUOUS TREE TO REPLACE ONE REMOVED, TO BE SAME SPECIES OF TREE THAT WAS REMOVED

TRANSITION ZONE PLANTINGS

PLANT SYMBOL	PLANT SPECIES	QUANTITY	SCREENING POTENTIAL (SF EACH)	SCREENING POTENTIAL TOTAL (SF EACH)	PLANTING SIZE (MINIMUM)
	DWARF KOREAN LILAC	7	30	210	24" IN HEIGHT
	HONEY LOCUST	3	150	450	ONE AND ONE-HALF INCH (1.5") CALIPER
	SPIREA	6	30	180	24" IN HEIGHT
	CHINESE SNOWBALL VIBURNUM	5	30	150	24" IN HEIGHT
	EMERALD ARBORVITAE	6	50	300	FIVE FEET (5') IN HEIGHT
	EXISTING DECIDUOUS TREE	2	150	300	
			TOTAL	1590	

BASIS FOR CALCULATION
 TOTAL LENGTH OF PROPERTY LINE MULTIPLIED BY 16 FEET FOR HEIGHT EQUALS SCREEN AREA SQUARE FOOTAGE WITH 75% OF THAT AREA TO BE SCREENED.
 (27.63+21.73+82.18)*16*0.75=1577.52 SF

Mach IV
 Engineering & Surveying LLC
 211 N. Broadway, Suite 114, Green Bay, WI 54303
 PH: 920-369-3765 Fax: 920-369-3767

James J Calmes
 Spirits Bar
 Landscape Plan

NO.	REVISION DESCRIPTION

DATE: December 11, 2013
 DRAFTED BY: RPH
 CHECKED BY: JE
 PROJECT NO.: 0690-01-13
 DRAWING NUMBER: **883**
 SHEET NUMBER: **L1.0**
 of 6